

GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK.
3. SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE, UNLESS A WRITTEN DECISION FROM THE OWNER HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATIVE METHOD AND/OR MATERIALS.
4. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS ON THE SITE.
5. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCLUMBERED WITH MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
6. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
7. THE SUBCONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENGAGE ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK, OR ANY PART OF IT. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
8. DO NOT START ANY WORK FOR WHOM REQUIRES A SHOP DRAWING OR A SAMPLE SUBMISSION. ALL SUCH PORTIONS OF WORK SHALL BE IN ACCORDANCE WITH CORRECTED SHOP DRAWINGS AND SAMPLES.
9. DIMENSIONS:
A. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
B. ALL DIMENSIONS ARE TO THE FRAMING UNLESS OTHERWISE NOTED.
C. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR SLAB TO FACE OF FINISH CEILING MATERIAL UNLESS OTHERWISE NOTED.
10. PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRIC UNITS, A.K.A. EQUIPMENT, RECESSED ITEMS, AND ALL OTHER ITEMS AS REQUIRED.
11. WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
12. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE REQUIRED WITH THE OWNER PRIOR TO INSTALLATION.
13. AX FLAME SPREAD RATING FOR FINISH MATERIALS USED ON INTERIOR WALL & CEILINGS SHALL NOT EXCEED THE VALUES IN U.B.C.
14. ALL GLASS AND GLAZING SHALL COMPLY WITH U.B.C.
15. ALL NEW WALLS TO BE 2X4 METAL STUD WALL AT 16" O.C. WITH 5/8" TYPE "X" GYPSUM WALL BOARD WITH BAT INSULATION TO UNDERSIDE OF ROOF STRUCTURE, UNLESS NOTED OTHERWISE.
SUBCONTRACTOR TO REMOVE AND DISPOSE OF ALL DEBRIS FROM THE PROJECT SITE.
MATERIALS CONTAINING ASBESTOS ARE NOT TO BE INCORPORATED INTO THIS PROJECT.
ALL CONSTRUCTION SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE UNIFORM BUILDING, FIRE, MECHANICAL, PLUMBING, AND SECURITY CODES, OR OTHER CODES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
ELECTRICAL WIRING SHALL BE IN ACCORDANCE WITH THE CURRENT CODE.
TILE MUST BE APPLIED OVER CEMENT PLASTER BACKING AT SURFACES SUBJECT TO WATER SPLASH.
WATER CLOSET TO BE A MAXIMUM OF 1.28 GALLONS PER FLUSH.
NO HAZARDOUS MATERIALS WILL BE STORED WITHIN THE BUILDING.

HARBOR SQUARE

300-440 N HARBOR BLVD
LA HABRA - CA 90631

T.I. Raining Ink Tatoon Studio

SCOPE OF WORK

RELOCATION OF 3 EXISTING ADA STALLS & INTERIOR TI PACKAGE TO RELOCATE EXISTING MEDICAL CLINIC INTO UNITS 336 & 338.

SHEET INDEX

- ARCHITECTURAL
CS.0 - COVER SHEET & SITE
A1.0 - DEMO, FLOOR, REFLECTED CEILING PLANS
A2.0 - SECTIONS & DETAILS

PROJECT DATA

PROPERTY OWNERS: WESTLAND REAL ESTATE GROUP
520 W. WILLOW ST.
LONG BEACH, CA. 90806
(310) 639-7130 PHONE
(310) 893-6224 FAX
PROPERTY ADDRESS: 300-440 N HARBOR BLVD
LA HABRA, CA 90631-4849
TRACT 518
ASSESSOR'S PARCEL NUMBER: 303-371-01 SHEET #5
ZONE: C2
GENERAL PLAN USE: COMMERCIAL/INDUSTRIAL
NUMBER OF STORIES: ONE
CONSTRUCTION TYPE: TYPE V - B (NON-SPRINKLERED)
EXISTING OCCUPANCY USE: B

VICINITY MAP

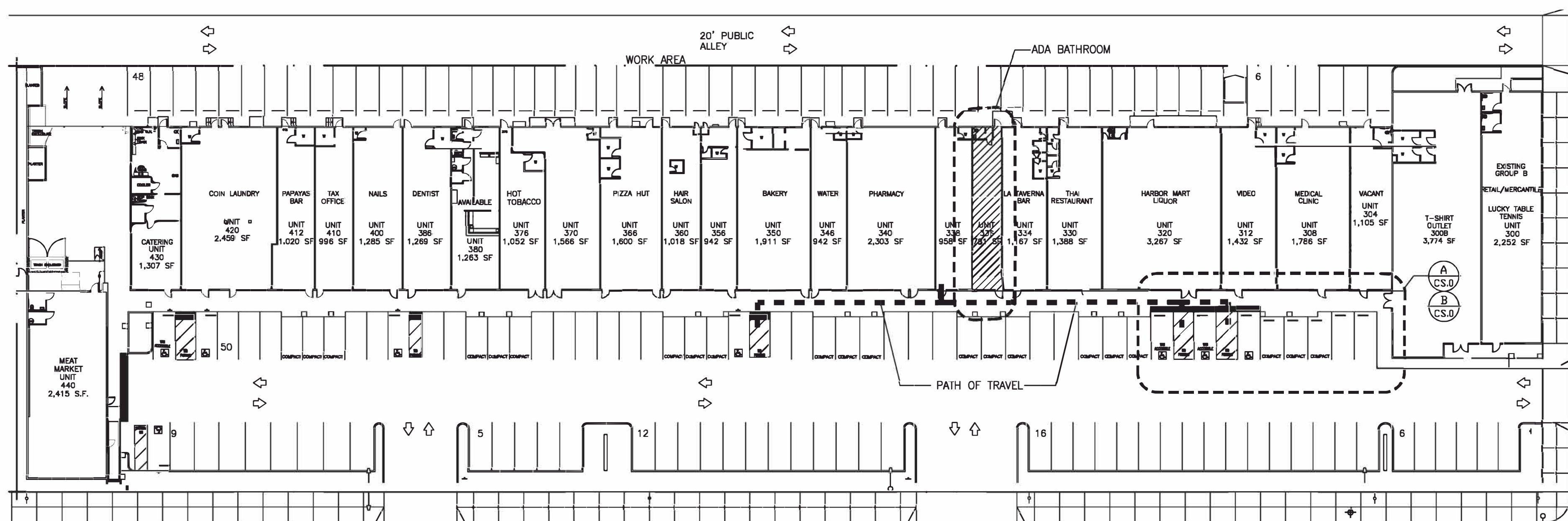
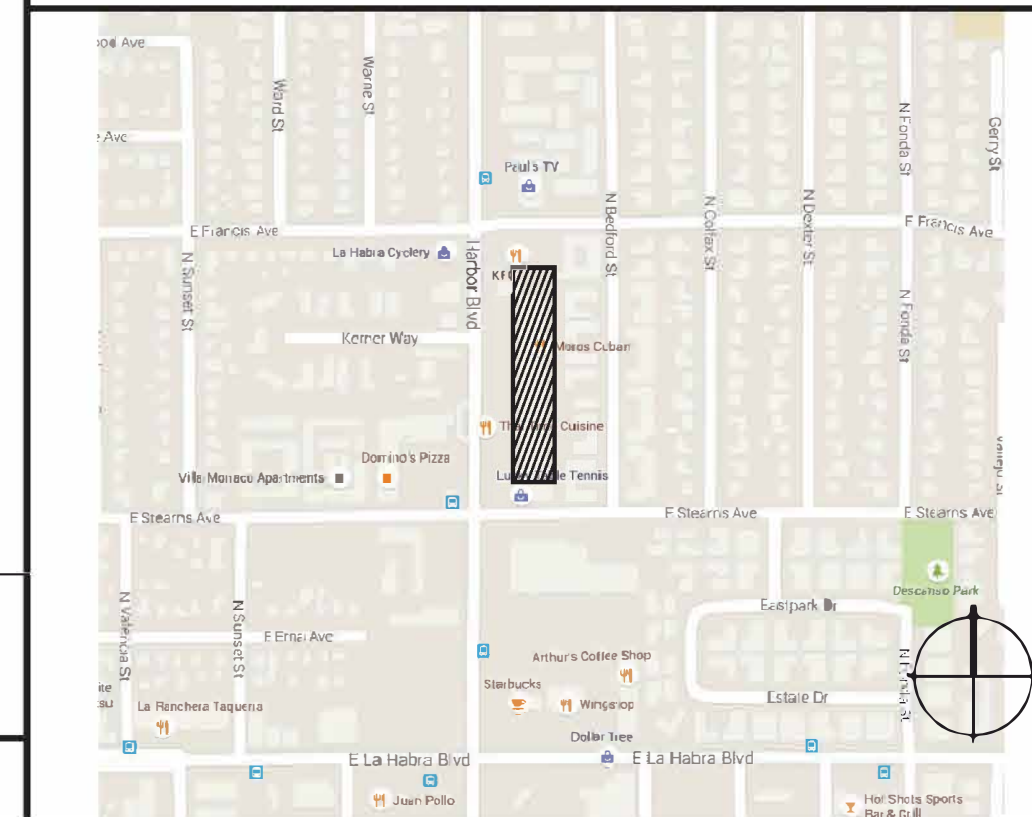


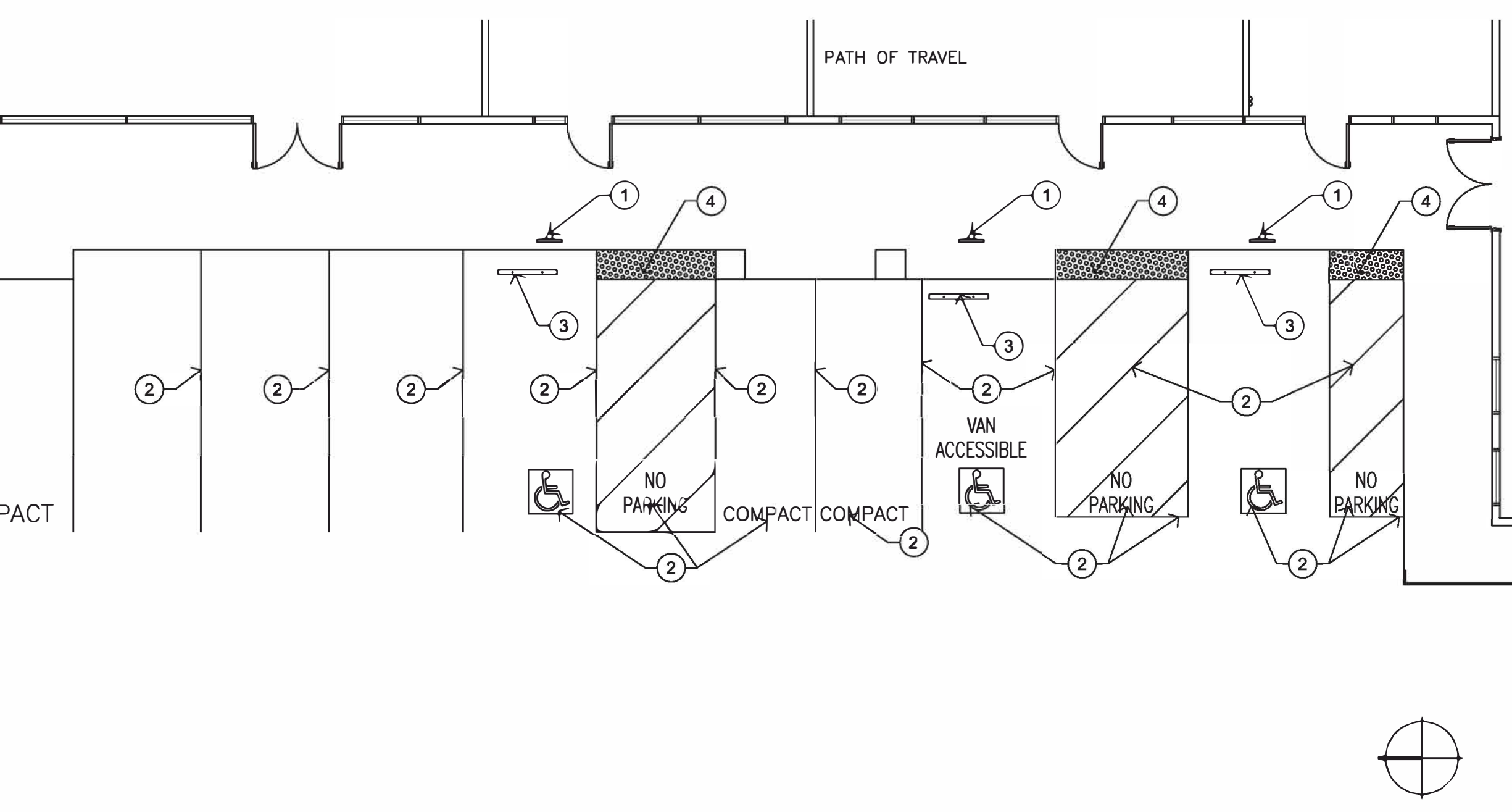
Table with 2 columns: SITE LEGEND and SITE SUMMARY. SITE LEGEND includes symbols for EXISTING BUILDING AREA, AREA OF INTERIOR CONSTRUCTION, and PATH OF TRAVEL. SITE SUMMARY includes statistics: LAND AREA ± 103,072 SF 2.4 AC, BUILDING AREA 41,416 SF, LAND/BUILD RATIO 1.5/1 40%, PARKING PROVIDED 152, PARKING RATIO 3.7/1000, and counts for REGULAR STALLS (123), COMPACTS (21), VAN STALLS (4), and ASSESSABLE (4).

BUILDING CODE DATA LEGEND

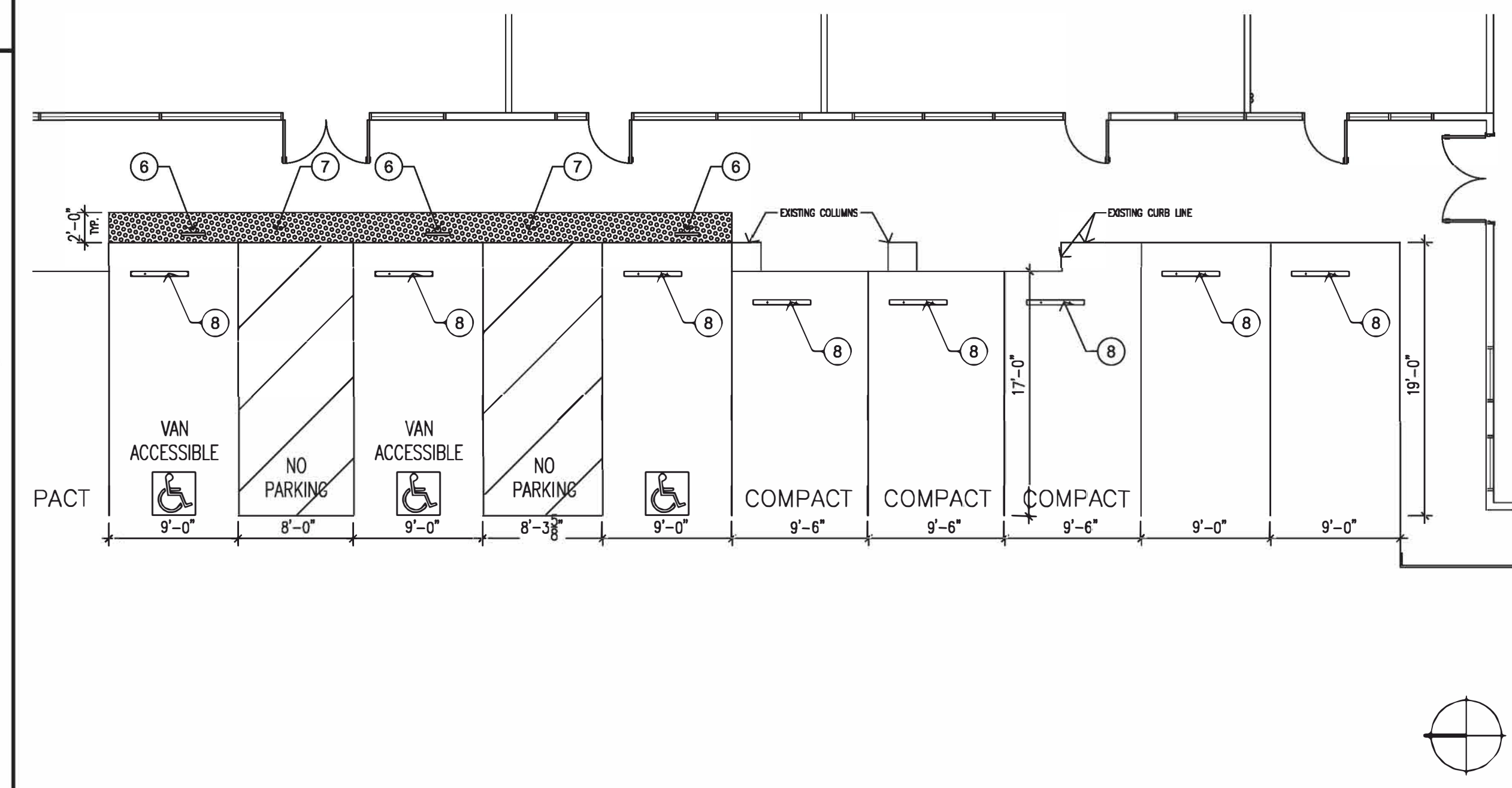
- APPLICABLE CODES:
California Building Code (CBC), 2013 - Title 24, Part 2
California Residential Code (CRC), 2013 - Title 24, Part 2.5
California Mechanical Code (CMC), 2013 - Title 24, Part 4
California Plumbing Code (CPC), 2013 - Title 24, Part 5
California Electrical Code (NEC), 2012 - Title 24, Part 3
California Green Code (CalGreen), 2013 - Title 24, Part 11
California Fire Code (CFC), 2013
California Energy Commission Title-24, 2013
IBC 2014 LACO Building Code
IRC 2014 LACO Residential Code
NEC 2014 LACO Electrical Code
UMC 2014 LACO Mechanical Code
UPC 2014 LACO Plumbing Code

KEY NOTES

- 1 REMOVE EXISTING ADA STALL SIGNS
2 PAINT OVER OR SAND BLAST OFF EXISTING ADA STALL STRIPING, PARKING STALL STRIPING AND PREPARE FOR NEW LAYOUT
3 REMOVE EXISTING WHEEL STOPS AND SAVE FOR NEW LAYOUT
4 REMOVE DETECTABLE WARNING THESE THREE LOCATIONS AND SAVE FOR NEW LOCATION IF POSSIBLE
5 NEW PARKING LOT STRIPING & ADA STRIPING PER DIMENSIONS & DETAILS
6 NEW ADA SIGN & POST
7 NEW 2'-0" WIDE DETECTABLE WARNING
8 NEW WHEEL STOPS



(A) ADA STALLS TO BE REMOVED SCALE: 1/8"=1'-0"



(B) NEW ADA STALLS LAYOUT SCALE: 1/8"=1'-0"



SIGNATURE DATE:

PROJECT: Harbor Square
INTERIOR TI PLANS
UNIT #336
LA HABRA, CA 90631

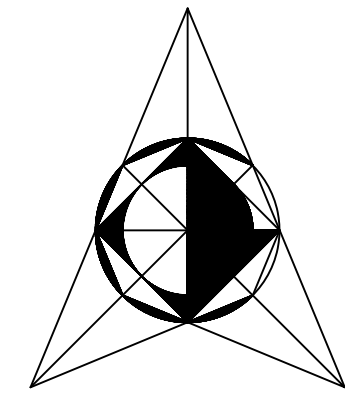
OWNER: WESTLAND REAL ESTATE GROUP
520 W Willow St.
Long Beach, CA 90806
(310) 639-7130
(310) 639-9210 fax

Table with 2 columns: No. and Description. It contains project information: Project No.: 2350, Drawn By: DS, Reviewed By: BM, Date: 6/09/17, and Filename.

COVER SHEET/ SITE PLAN/ ENLARGED SITE

Sheet #: A-0

\\FILESRV1\Public\Dev.-Const\Shopping Center\2370 - La Habra - 300-440 N. Harbor Blvd\AutoCad\TI Unit 336\CS.0 Cover & Site.dwg, 2/18/2019 10:43:16 AM



**L.P. DESIGN**

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**Project:** T.I. "Raining Ink Tattoo Studio"  
**Tenant:** PABLO LIMA AND JESE DELGADILLO  
**Project Address:** 300-440 N HARBOR BLVD. UNIT # 336 LA HABRA, CA 90631

SHEET:  
FLOOR PLAN

date	issued for:

Project: 2019-010-00336  
date: 02-22-2019  
Drawn by: Leonardo Parra  
SHEET No: **A-1**  
Scale: 1/4" = 1'

#	EQUIPMENT	MANUFACTURER MODEL No.	NSF	PLUMBING				COMMENT
				H.W.	C.W.	DIR	F.S.	
1	(E) ELECTRIC WATER HEATER - BARDFORD WHITE - 30 GL. - WITH 9,000 WATTS MINIMUM. PROVIDE: 208 or 240 volts - 1. Water Heater must be Strapped to Wall. - 2. Provide 6" Concrete Pad W/ 6" high curb with 3/8" radius cove base. - 3. Provide pressure and Temp. Relief valve drain to safe outside location.	BARDFORD WHITE LD-30U3-1	UL	Ø-1"	Ø-1"			NEW
2	SOAP DISPENSER							
3	HAND WASH SINK 15"x17" WITH WATER PROOF PANEL use Fiberglass Reinforced Panel white color. WITH SIDE SPLASH		NFS	Ø-1/2"	Ø-1/2"	X		Back and Side Splash
4	PAPER TOWEL DISPENSER							
5	GRAB BARS							
6	TOILET - Water closet for public use shall be elongated bowl type with open front seat. (2010 CPC, Section 408.1)	A STANDARD 5324.019	NSF		Ø-1/2"	X		Comply with ADA
7	DISPENSER SANITATION PAPER AND DISPENSER FOR TOILET PAPER		NSF					Comply with ADA
8	MOP/BROOM HANGER							Wall Mounted
9	MOP SINK		NSF					EXISTING
10	SOAP DISPENSER							
11	HAND WASH SINK 15"x17" WITH WATER PROOF PANEL use Fiberglass Reinforced Panel white color. WITH SIDE SPLASH		NFS	Ø-1/2"	Ø-1/2"	X		Back and Side Splash
12	PAPER TOWEL DISPENSER							
13	DESIGN TABLE							
14	CASHIER - COUNTER - WASHABLE FINISH. (FORMICA) 72"x36"							
15	MOBILE CABINET							
16	DESIGN TABLE							
17	MESSAGE TABLE							
18	MESSAGE TABLE							
19	MESSAGE TABLE							
20	MESSAGE TABLE							
21	METALLIC SHELVES FOR CLEANING PRODUCTS STORAGE 24"x12"	AMCO 2412	NSF					
22	TRASH BIN							
23	TRASH BIN FOR HAZARD DISPOSAL							
24	SHOW CASE WITH GLASS AND LOCKS							
25	STORAGE CABINETS WITH LOCKS							

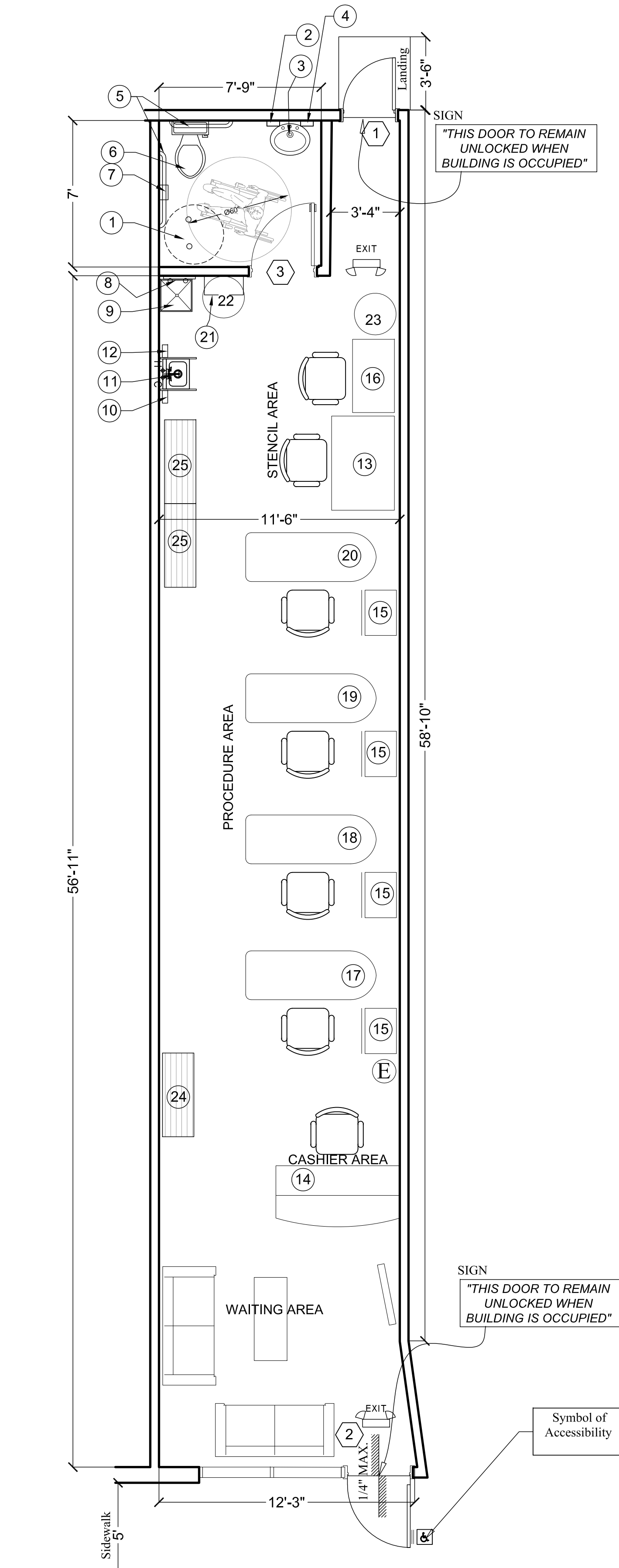
**FIXTURE TEMPERATURE LIMITATION:**  
On public Lavatory faucets and Kitchen the maximum temperature of water shall be 110 Fahrenheit Degrees. A Temperature Control Thermostat shall be installed at each Fixture to comply with CPC 408.3, 409.4, 410.3, 421.2, and Energy Standards 110(C)3.

EXIT TACTILE EXIT SIGN

LEGEND	
	EXISTING WALL
	NEW PARTITION WALL 2"x6" WOOD STUDS

#	SIZE	TYPE	QTY	NOTE
1	3'-0" x 6'-8" x 1 3/8"	DOOR (6-PANEL) S-LABEL. 20 MIN. RATED, SELF-CLOSING w/ PANIC EXIT HARDWARE - ACCESSIBLE HARDWARE	1	EXISTING Egress Door
2	3'-0" x 6'-8" x 1 3/8"	GLASS DOOR S-LABEL. 20 MIN. RATED, SELF-CLOSING W/ PANIC EXIT HARDWARE - ACCESSIBLE HARDWARE	1	EXISTING Egress Door
3	3'-0" x 6'-8" x 1 3/8"	WOOD HOLLOW CORE SELF CLOSING W/ ACCESSIBLE HARDWARE - LATCH AND CLOSER	1	NEW

LEGEND	
	FIRE EXTINGUISHER REQUIRED - 2A 10BC EVERY 75' TRAVEL DISTANCE.
	EXISTING EMERGENCY LIGHT W/ EXIT SIGN
	Exit signs shall be located as necessary to clearly indicate the direction of egress travel. No point shall be more than 100 feet from the nearest visible sign. Exit signs shall be internally or externally illuminated, it shall have an intensity of not less than 5 foot candles. All exit sign shall be illuminated at all times, to ensure continued illumination for duration of not less than 1-1/2 hours in case of primary power loss.



**PROPOSED FLOOR PLAN**  
SCALE 1/4"=1'-0"