

# *Fairfield Specific Plan*

951-1055 South Beach Boulevard  
La Habra, CA 90633

March 2015

Prepared for:



City of La Habra  
201 East La Habra Boulevard  
La Habra, CA 90633

Prepared by:

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City of La Habra  
Fairfield Specific Plan  
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## 1.0 INTRODUCTION

The City of La Habra initiated a city-wide General Plan Update in 2011. A City Council appointed General Plan Advisory Committee (GPAC) conducted numerous public outreach events as well as a series of meetings to elicit public input and steer the City consultant throughout the Update process. In November 2012 the GPAC made a formal recommendation that the site located at 951-1055 S. Beach Boulevard be designated High Density Residential 36 dwelling units per acre (du/ac). Subsequent to that recommendation, the Planning Commission and City Council (PC/CC) conducted a Joint Workshop in February, 2013. Given that the overall Study Area that includes the 951-1055 S. Beach Boulevard site has existing commercial uses (mini storage and hotel), the PC/CC direction was to change the site to Mixed Use Center 2. This land use category allows: a stand-alone commercial development at a maximum floor area ratio (FAR) of 0.5; a stand-alone residential development at a density of 31 du/ac to 36 du/ac; or a mixed use development consisting of commercial and residential uses at a maximum FAR of 1.5. Since the Mixed Use Center 2 land use designation did not previously exist in the City, there are no zoning or development standards by which to evaluate a proposed development. The *Fairfield Specific Plan* is the mechanism by which the development standards will be established for a stand-alone residential development.

The *Fairfield Specific Plan* presents an opportunity for quality residential infill development to be built on a vacant and underutilized site in the City of La Habra. This Plan provides for the reuse of the site in a manner that complements and supports surrounding land uses. The project applicant, FF Realty LLC, proposes a high quality residential infill development at a

density of approximately 32 dwellings units (du) per acre consisting of multi-family rental residences within two, three and four story buildings. The *Fairfield Specific Plan* includes a Precise Site Plan that is the current development approach for the Planning Area. Should a future development proposal differ from the Precise Site Plan included herein, a Planning Commission Review and approval of a new Precise Site Plan is required. (See Section 6.3)

### 1.1 Location

The *Fairfield Specific Plan* is applicable to multiple parcels comprising a total of 10.48 acres (the Planning Area). The Planning Area includes a 9.97-acre vacant lot (consisting of 4 separate assessor parcels) located at 951-1055 S. Beach and a .51-acre parcel located at 1001 S. Beach, which includes a closed three story Hotel (formerly operated as the Sunset Inn; see Exhibit 1-1). The Planning Area is bounded by Beach Boulevard to the east, a mini storage facility to the north, single family detached homes to the west, and a Vons anchored shopping center to the south.

### 1.2 Goals and Objectives of the Specific Plan

This Specific Plan defines land use regulations, development standards, architectural guidelines, and entitlement processing for all new residential development on the site. This Specific Plan is a regulatory tool that the City, property owners, and development community will use to achieve a high quality city asset.

The City of La Habra adopted an Environmental Impact Report (EIR) for the General Plan 2035. While this specific plan is consistent with the General Plan, additional environmental review of the *Fairfield Specific Plan* was completed. The assessment examined the potential impacts



associated with the Plan's implementation. The environmental analysis consisted of an Initial Study and Mitigated Negative Declaration (IS/MND) that is provided under a separate cover. The Land Use Plan, Urban Design Plan, and the Infrastructure Plan included herein provide specific guidance concerning future residential development within the Planning Area. The intended objectives of the *Fairfield Specific Plan* includes the following:

- Timely redevelopment and reuse of an underutilized property subject to this Specific Plan;
- Ensure that the development permitted under this Specific Plan is consistent with the existing and future developments located adjacent to the Planning Area;
- Provide flexibility in site and product design should the Precise Site Plan included herein be revised;
- Promote new development that will benefit the City of La Habra; and
- Eliminate or reduce the adverse environmental effects associated with future development within the Planning Area.

### **1.3 Authority and Scope**

California Government Code Section 65450 et seq. authorizes preparation of specific plans to implement a jurisdiction's General Plan. State law provides limited guidance regarding the content and scope of a specific plan, indicating that a specific plan must address the distribution, location, and extent of land use; the infrastructure - both public and private - necessary to support the land use plan; standards and criteria for natural resource preservation, where applicable; and an implementation plan that includes identification of financing measures. Also,

the specific plan must include a statement of the relationship of the specific plan to a community's General Plan.

This Specific Plan reflects all state requirements. Following this introduction, Part 2.0 addresses the Development Concept (Precise Site Plan), describing the site in detail and discussing the proposed development type. Part 3.0 details specific development standards, land use regulations, and design guidelines which will regulate all future residential land uses on this site. Part 4.0 addresses infrastructure as it exists and what is needed to implement the proposed land use. Part 5.0 addresses how community services such as police and fire protection will be provided to the site. Part 6.0 outlines specific implementation and administrative measures to ensure that all provisions of the specific plan are carried out as well as provisions/guidelines to modify the Precise Site Plan included herein.

As stated previously, the City of La Habra does not currently have regulatory zoning standards that address the density permitted within the Mixed Use Center 2 general plan designation. Residential density of 31-36 units per acre requires significantly different development standards that are currently found in the City's zoning code (Municipal Code Title 18-Zoning), including, but not limited to building height, parking ratios, open space, and setbacks. Therefore, the regulations contained herein take precedence over the zoning regulations contained in Title 18-Zoning of the City of La Habra Municipal Code. Following the adoption of the *Fairfield Specific Plan* by the City Council, all subsequent stand-alone residential development within the Planning Area must be consistent with the Specific Plan's regulations and standards. Where a particular standard is not addressed in this Specific Plan, the regulations of Title 18-



Zoning shall apply. The *Fairfield Specific Plan* defines land use regulations, development standards, and architectural guidelines to allow for the construction of multi-family residences within the 31-36 du/ac range established by the General Plan 2035.

The *Fairfield Specific Plan* creates standard zoning regulations applicable to the Planning Area and implements the General Plan. The goals and objectives established for the Planning Area through the *Fairfield Specific Plan* include the following:

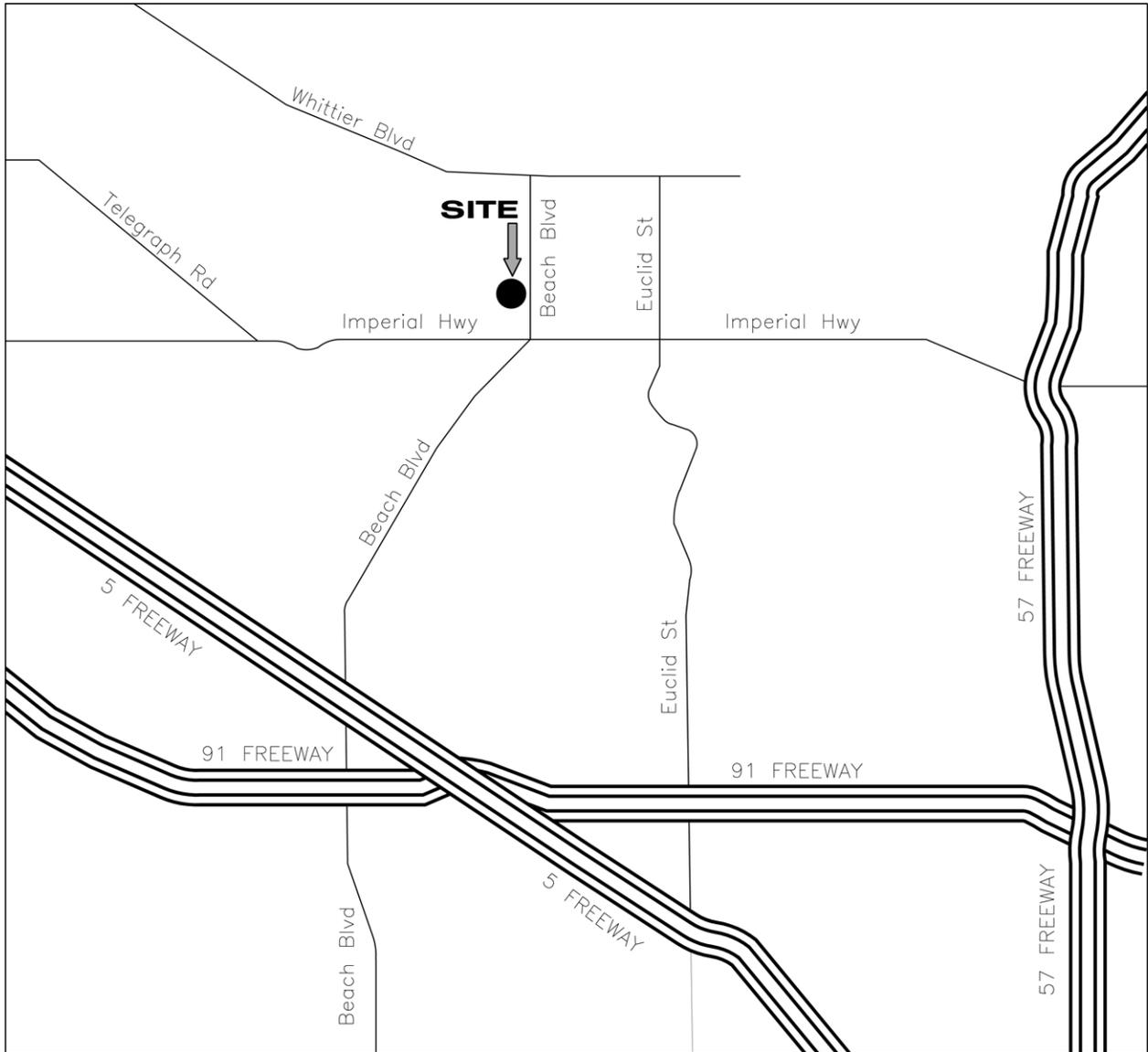
- Provide a comprehensive land use plan based on planning principals that designate the type, distribution, location, and extent of land uses, roadways, and improvements within the Planning Area;
- Establish design guidelines, development regulations, and other procedures to guide future development and to provide appropriate architectural themes for future development permitted under the *Fairfield Specific Plan*;
- Provide a Precise Site Plan for development of the Planning Area;
- Provide adequate public infrastructure improvements required to support the land use envisioned under the *Fairfield Specific Plan*;
- Provide for the long-term maintenance of all improvements by the property management company; and
- Identify strategies that will implement the planning concepts outlined in the *Fairfield Specific Plan*.

#### **1.4 Organization of the Specific Plan**

This Specific Plan defines land use regulations, development standards, and architectural guidelines to allow for the

creation of a high quality residential community. The Plan consists of text, maps, and diagrams that describe:

- Overall land use plan and Precise Site Plan for the project site;
- Roadway and Circulation plan;
- Plans for open space, landscaping, and recreation facilities;
- Plans for constructing and maintaining public infrastructure;
- Development standards for the residential use (e.g. required setbacks, maximum building height, and landscape requirements); and
- Design guidelines.



**VICINITY MAP**



## 2.0 DEVELOPMENT CONCEPT

This section of the *Fairfield Specific Plan* establishes regulations, standards, and design criteria for a multi family residential development within the Planning Area.

These standards indicate the density of development, the maximum building height, the floor area standards, parking requirements, and other special development standards and/or requirements.

These regulations, standards, and design criteria will assist the City of La Habra in overseeing the physical development of the Planning Area.

### 2.1 Development Setting

The area subject to the *Fairfield Specific Plan* is located within the City of La Habra in the northern portion of Orange County (see Exhibit 1-1). The Planning Area is located just north of the intersection of Imperial Highway and Beach Boulevard, at 951-1055 S. Beach Boulevard.

The site consists of a boarded up three story building that was previously operated as the Sunset Inn, paved parking lots, ornamental trees, gravel area where several buildings were demolished, and various parking lot lighting standards.

The site is accessed via Beach Boulevard, a north-south major arterial. The Precise Site Plan provides for primary ingress/egress from Beach Boulevard at the Beach Boulevard and Fashion Square Lane signalized intersection.

The nearest freeways are the Orange Freeway (State Route 57) located approximately five miles east of the Planning Area and Interstate 5 located approximately 4.5 miles south. Other major roadways in the area include Imperial Highway (State Highway 90) less than a half mile south of the Planning Area. The

Planning Area's location in the City is shown in Exhibit 2-1.

The Orange County Transportation Authority (OCTA) operates a bus route (Route 29) that extends along Beach Boulevard. The nearest stop to the Planning Area is located at the main entrance to the property at the north-west corner of Beach Boulevard and Fashion Square Lane.

The Planning Area is bounded by a Vons anchored retail center and Firestone Tire Center to the south, Beach Boulevard to the east, a mini storage facility to the north, and detached single-family homes to the west. The existing and surrounding land uses are shown on Exhibit 2-2.

### 2.2 Relationship to the City of La Habra General Plan

The *Fairfield Specific Plan* will guide future multi family residential land use within the Planning Area. Any future General Plan update or Zoning Ordinance revision must be consistent with the adopted land use policy described herein (within the *Fairfield Specific Plan*) unless the plan is first amended to reflect any change (refer to Section 6.3 that outlines amendment procedures).

The City of La Habra General Plan promotes the use of specific plans as a means to facilitate a comprehensive planned development process for key areas of the City. The use of specific plans is designed to provide both the City and property owners flexible development standards. In this way, development standards may be tailored to match the unique characteristics of a particular area while meeting the goals of the General Plan. As a result, the *Fairfield Specific Plan* is designed to serve as a regulatory document to facilitate the development of the Precise Site Plan as well as provide flexibility should changes to said plan be proposed (refer to Section 6.3 for



Precise Site Plan modification procedures and guidelines).

The *Fairfield Specific Plan* is consistent with the General Plan 2035 as it establishes development standards that implement the Mixed Use Center 2 designation.

### **2.3 Development Concept**

This Specific Plan proposes a multi family residential community consisting of high end luxury rental opportunities. A Precise Site Plan is included in the Specific Plan (see Exhibit 2-3). Exhibit 2-3 illustrates the layout for a luxury rental housing configuration consisting of stacked flat residences.

Site amenities will include passive and active recreational space for residents such as pool, spa, recreation room, workout room, tot lot, bocce ball court, business center, public open space, and outdoor bar-b-que facilities.

The Planning Area will incorporate high end design features that are sensitive to the surrounding architecture and uses. Residential buildings may include stacked flats, townhomes, or other attached housing, either as rental or as individual ownership.

### **2.4 Permitted Land Uses**

The General Plan Mixed Use Center 2 designation allows: a stand-alone commercial development at a maximum floor area ratio (FAR) of 0.5; a stand-alone residential development at a density of 31 du/ac-36 du/ac; or a mixed use development consisting of commercial and residential uses at a maximum FAR of 1.5.

This Specific Plan permits multi-family housing consistent with the density regulations of the Mixed Use Center 2 designation. Commercial or mixed use proposals for the Planning Area require an amendment to this Specific Plan.

### **2.5 Circulation**

Circulation Routes within the project will be private (installed by the developer; maintained by the property management company). The primary entry point will be provided at Beach Boulevard and Fashion Square Lane. The main entry will be a minimum 45-foot right of way consisting of two entry lanes and two exit lanes and will align with the current intersection lane configuration. The proposed entry configuration is shown on the Precise Site Plan (Exhibit 2-3). The entry point will be enhanced with landscape parkways on each side. In addition, the frontage along Beach Boulevard will include enhanced landscape features including a meandering sidewalk.

Internal streets will have a minimum 25-foot curb to curb width for non-fire lanes and a minimum 28-foot curb to curb width for fire lanes. A conceptual cross section of the internal streets is shown on Exhibit 2-4.

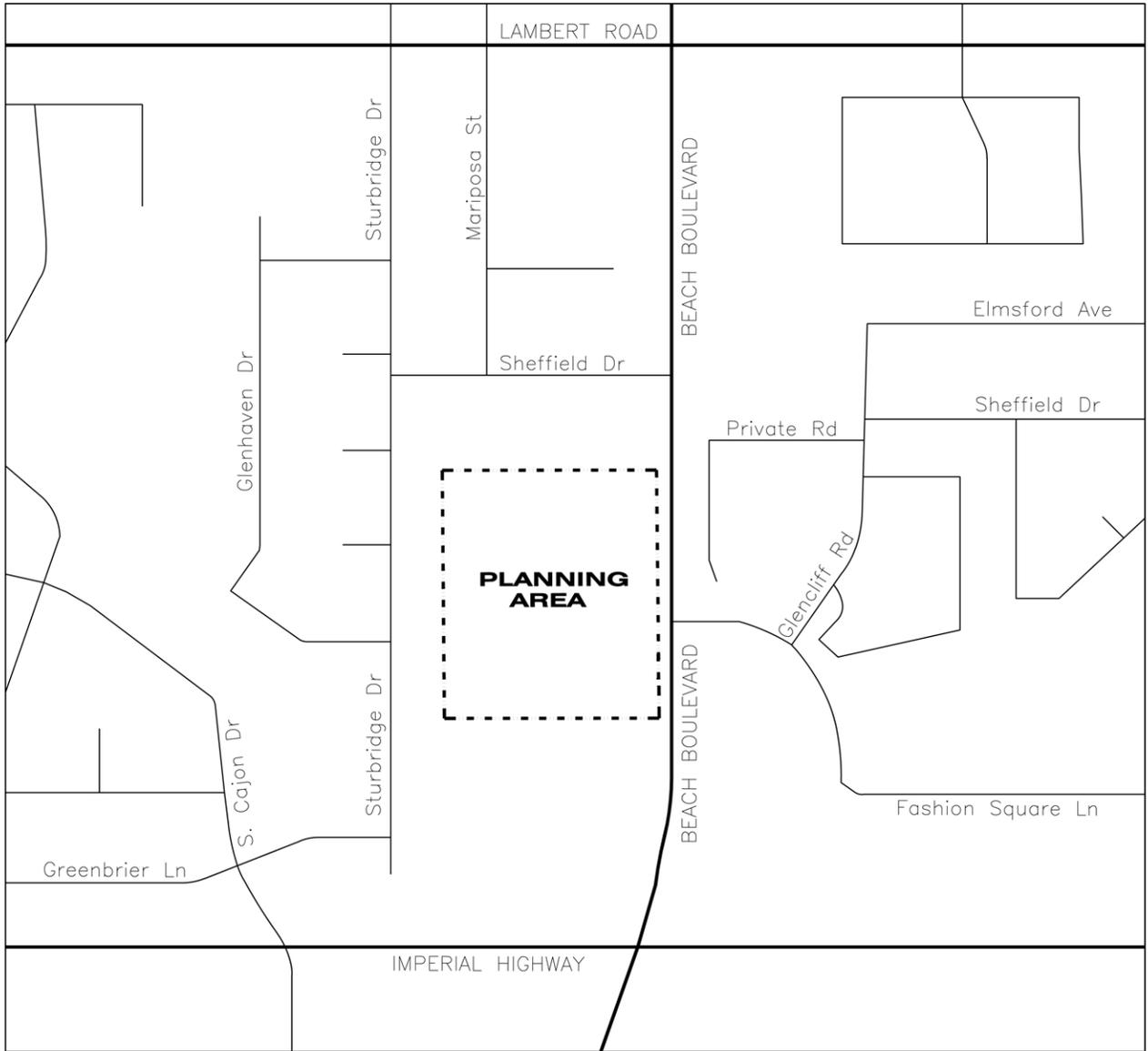
Additional residential egress points are provided at the northern and southern ends of the Planning Area. These additional access points are exit only and secured via sliding gates. The points of access are shown on the Precise Site Plan.

### **2.6 Utilities Plan**

This Specific Plan includes provisions for utilities, including water, sewer, and drainage improvements to serve the proposed development. The Planning Area is within a built-out environment and was previously developed with commercial and institutional uses. As such, the site has existing utility connections adjacent with sufficient capacity to support the permitted specific plan uses. Onsite utilities will tie into the existing nearby utilities. Drainage systems will be designed to direct flow to the existing storm drain within Beach Boulevard. The drainage design will ensure run-off quality meets Regional Water

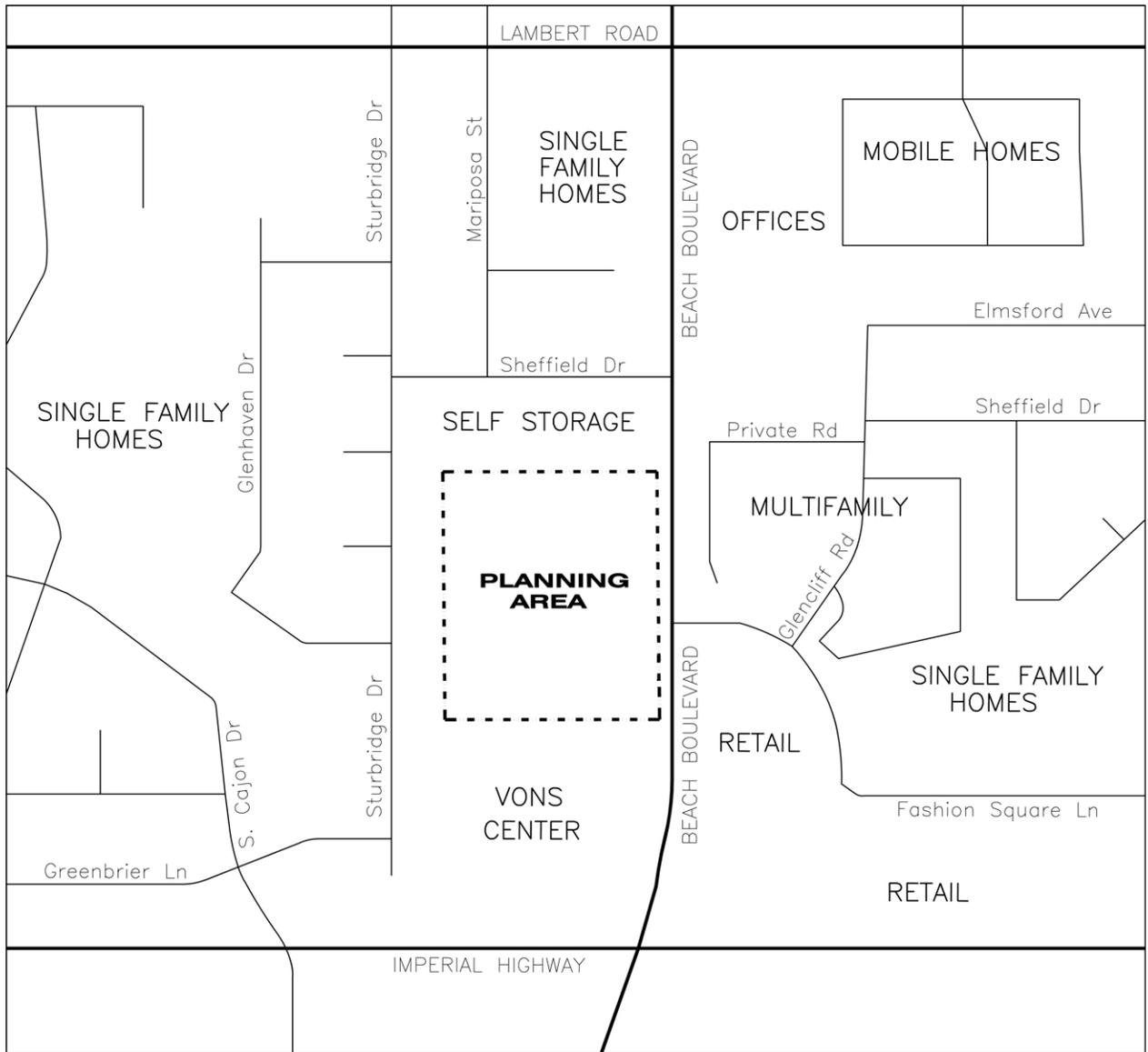
Quality Control Board standards. A conceptual sewer and water plan for the Precise Site Plan is included as Exhibit 2-5.





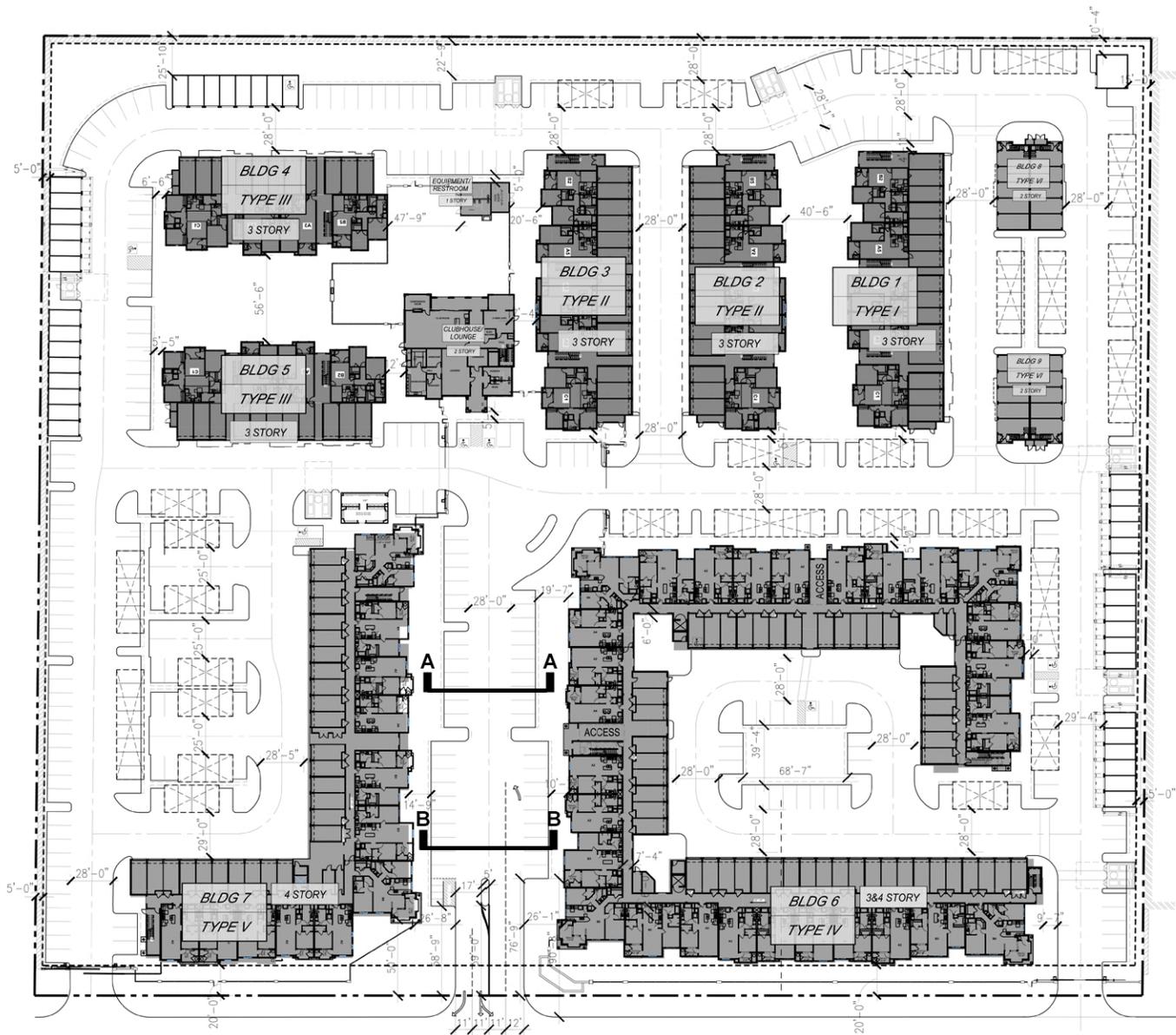
**LOCATION MAP**





**SURROUNDING LAND USE**





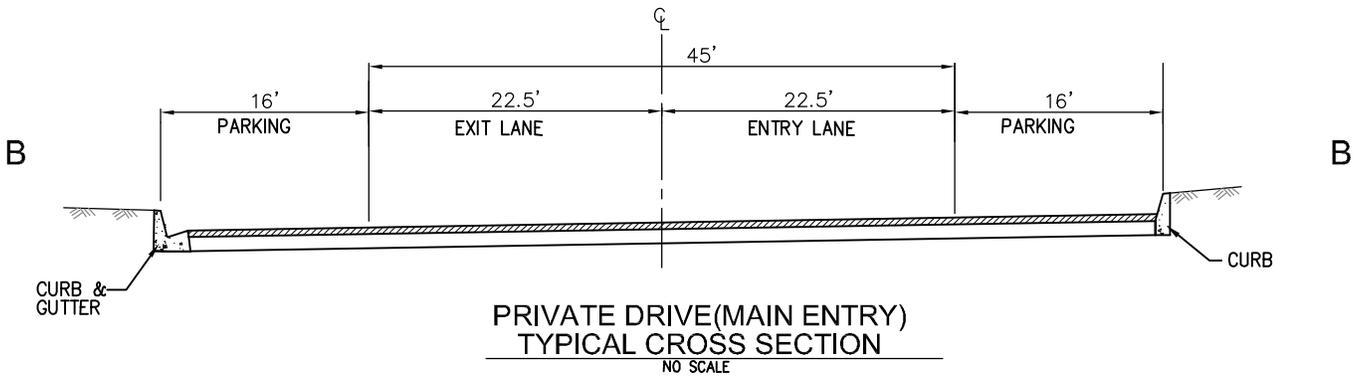
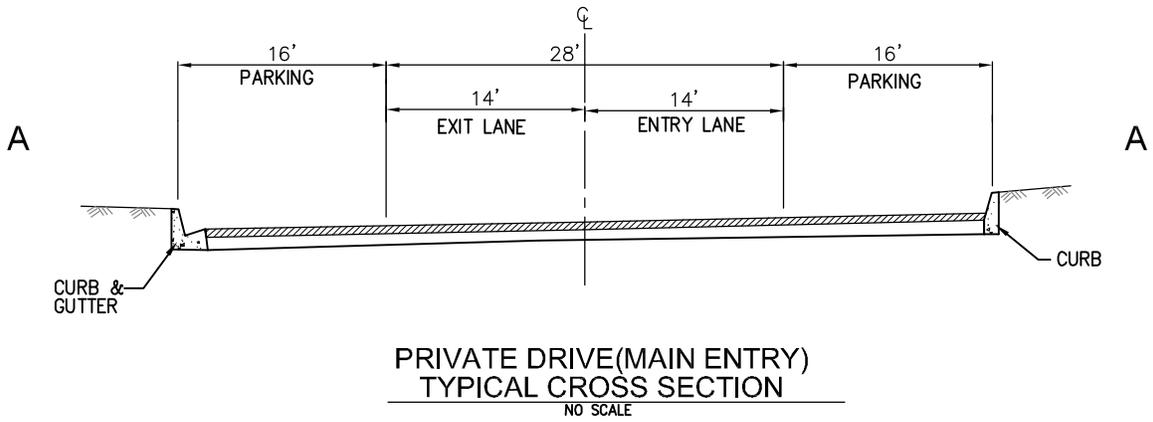
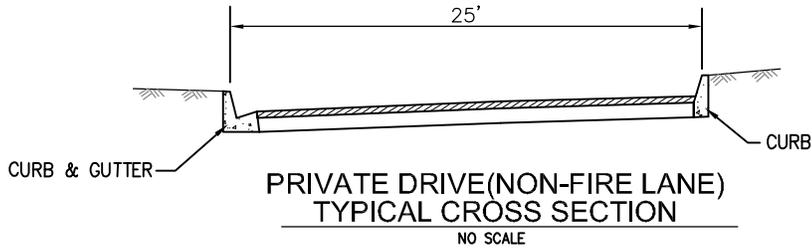
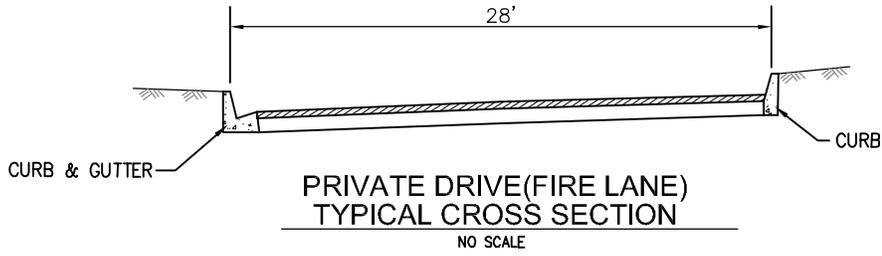
\*Note: Actual site plan design and number of residences will be determined through the City's Design Review process\*  
 \*See Exhibit 2-4 for entry drive cross-sections\*

## PRECISE SITE PLAN



Fairfield Specific Plan  
 March 2015

EXHIBIT 2-3



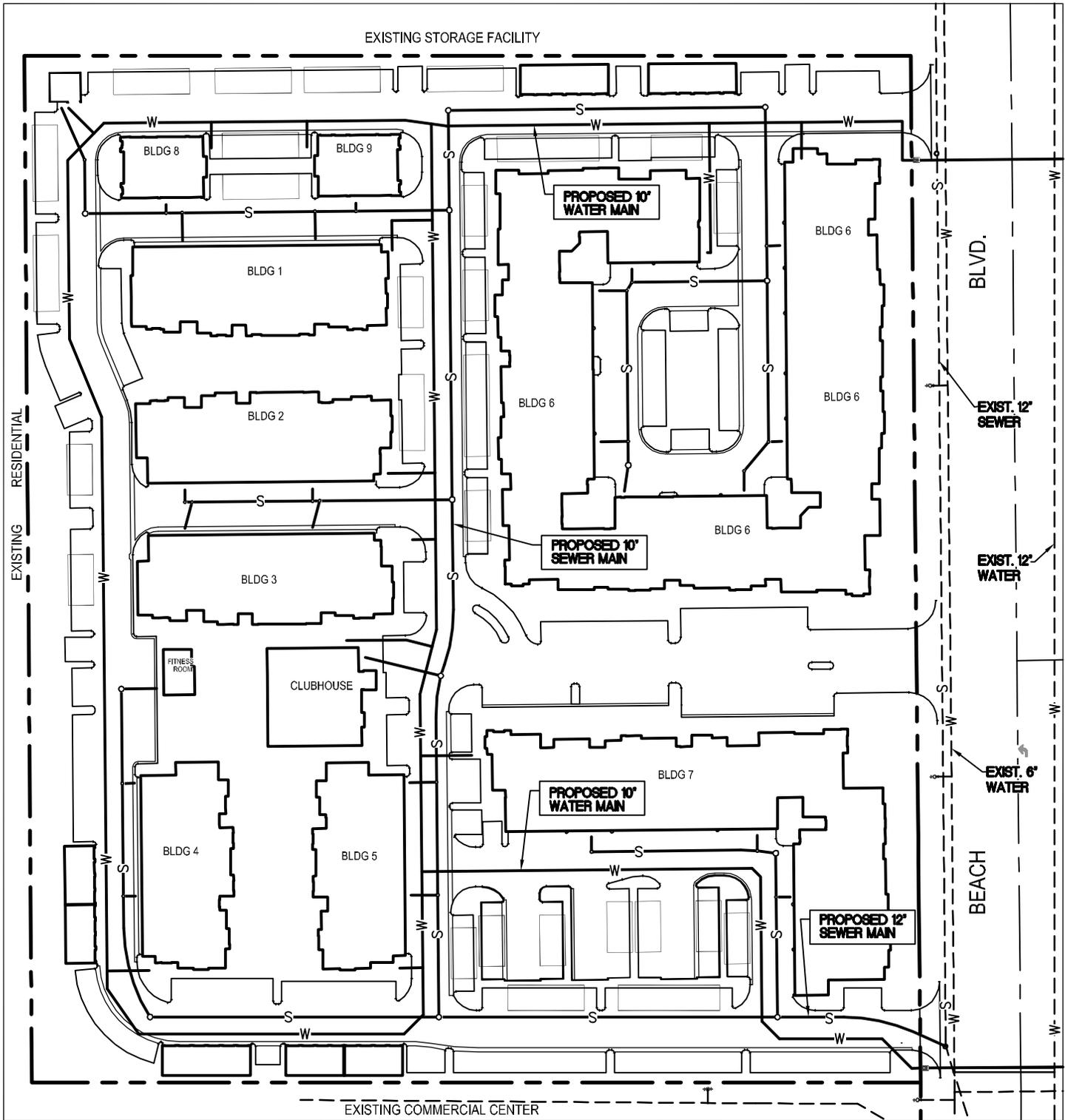
NOTE: SEE PRECISE SITE PLAN FOR CROSS-SECTION A AND B LOCATIONS.

**CONCEPTUAL INTERNAL  
STREET CROSS-SECTIONS**



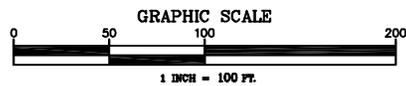
Fairfield Specific Plan  
March 2015

EXHIBIT 2-4



**LEGEND**

- W— PROPOSED WATER
- S— PROPOSED SEWER
- -W - - EXISTING WATER MAIN
- -S - - EXISTING SEWER MAIN



"NOTE: FINAL DESIGN WILL BE DETERMINED THROUGH THE CITY'S PLAN CHECK PROCESS"

**CONCEPTUAL SEWER AND WATER PLAN**



### **3.0 DEVELOPMENT STANDARDS AND DESIGN GUIDELINES**

This chapter defines land use regulations and establishes development standards and design criteria. These standards indicate the density of development, the maximum building height, the floor plan standards, parking requirements, and other development standards and/or requirements. These standards and guidelines provide criteria to guide residents, property owners, and the City of La Habra in the physical development of the Planning Area.

#### **3.1 Land Use Designations**

This Specific Plan provides for multi-family uses that correspond to the Mixed Use Center 2 land use designation in the General Plan 2035. This Specific Plan land use regulations and development standards will serve as the zoning regulations for the Planning Area.

##### *Mixed Use Center 2 – Multi-Family Residential*

This category provides for the development of dwelling units including but not limited to stacked flats, townhomes, or another attached housing as rental and/or as individual ownership. The category allows for a density of 31 du/ac to 36 du/ac. Densities below 31 du/ac are permitted as well.

##### *Mixed Use Center 2 – Commercial*

This category provides for the development of commercial projects with a maximum FAR of 0.5. This Specific Plan does not include development standards for this type of development.

##### *Mixed Use Center 2 – Commercial and Residential*

This category allows for the development of both residential buildings and commercial buildings with a FAR not to exceed 1.5.

This Specific Plan does not include development standards for this type of development.

##### *Ancillary Uses*

Ancillary uses, include leasing office, and site amenities such as clubrooms, fitness centers, business centers, mail room, and recreational areas (including pools and spas). These ancillary uses are permitted for the exclusive use of the residents of the development.

#### **3.2 Development Standards**

The development standards for the Planning Area are outlined below. For purposes of this Specific Plan the focus of development standards described herein are related to the residential component of the Mixed Use Center 2 designation. Therefore, Development Standards pertaining to the commercial and mixed use components of the Mixed Use 2 designation not described herein will default to Title 18-Zoning unless this specific plan is amended to include them.

*Uses.* Multi-family residences are permitted. The residences may be stacked flats or townhomes, or a combination of both. The residences shall be rental and professionally managed.

*Building Height.* The maximum height of any residential structure may not exceed fifty-five (55) feet or exceed four (4) stories. Height is measured from adjacent finished grade to the peak of the roof. Any building within forty (40) feet of the western property line adjacent to the existing single family homes is limited to two (2) story and thirty (30) feet.

*Minimum Dwelling Unit Size.* The minimum size floor area of each individual dwelling unit shall be as follows: 675 square feet (sf) for one bedroom; 825 sf for two bedroom; and 950 sf for three bedroom.



*Building Setbacks and Yard Areas.* The minimum front yard building setback along Beach Boulevard is twenty (20) feet. The side yards (north and south ends of the Planning Area bordering the mini storage and Firestone Tire Center and Vons shopping center) shall be a minimum setback of ten (10) feet for residential structures and three (3) feet for non-residential structures such as carports and garages. The rear yard building setback (along the single family development to the west) shall be a minimum of twenty (20) feet for residential structures and five (5) feet for non-residential structures such as carports and garages. The front, side, and rear yards shall be landscaped.

*Building Separation.* The minimum space between the exterior walls of residential buildings shall be as follows: buildings end to end or side to side shall be a minimum of ten (10) feet; buildings rear to end or front to end shall be a minimum of fifteen feet (15); buildings front to rear or rear to front shall be a minimum of fifteen (15) feet; and buildings front to front, where arranged around an open courtyard, shall have a minimum distance of twenty-five (25) feet between buildings.

*Development Intensity.* The maximum intensity of development permitted within the Planning Area shall be 36 du/ac. A lower density development is permitted.

*Building Coverage.* The maximum building coverage shall be 65%. Building coverage does not include balconies, patios, terraces, porches, or decks.

*Open Space.* A minimum of 200 square feet per unit of open space shall be provided, of which up to 50% can be private areas (ie. balconies, patios) and the remaining common area (ie. yards, BBQ areas, pool, fitness center, etc). Only balconies/patios

equal to or in excess of 60 sf shall count towards compliance with the open space requirement.

*Storage.* Each dwelling unit will have a minimum of 75 cubic feet of storage provided as part of the dwelling unit's balcony (within an enclosed closet) and/or within enclosed garages (exclusive of the area in the garage required to park a vehicle) or hallways. Storage space cannot be located within carports.

*Landscaping.* The front and side yard areas shall be landscaped. Parking may encroach into the rear yard setback, but is limited to 50 percent of the setback area, with no rear yard landscape setback less than 5 feet in depth. The conceptual landscape features for the Precise Site Plan are shown on Exhibit 3-1. Detailed exhibits showing each individually amenitized area are shown in Exhibits 3-2 through 3-5.

#### Parking Requirements

The following parking requirements are applicable to the multi family residential development.

*Parking Required.* Minimum parking standards are as follows: 1.25 spaces for one-bedroom and studio units; 2.25 spaces for two-bedroom units; and 3.25 spaces for three-bedroom units. It should be noted that guest parking is included within the ratios listed above. A minimum of one (1) covered parking space shall be provided for each unit and can be provided by either garage or carport. One (1) additional uncovered space shall be assigned to 2-bedroom and 3-bedroom units with the remaining uncovered spaces utilized for guest parking and/or tenant parking. Parking outside the gate along the main access road shall be available for future tenants and guests.

Should issues arise relating to parking at the Project that materially and adversely impact the neighborhood in which the Project is located, such as excessive parking by residents and guests of the Project in the streets surrounding the Project, then Owner shall enhance the parking provided for above, which enhancements may include the conversion of up to 30% of the parking stalls to compact spaces, the institution of Transportation Demand Management techniques, or other options as determined by the Community Development Director. In addition, should the Project be converted from apartment to owner-occupied units, the parking ratios of the Project shall then be required to comply with the then-applicable parking standards in effect at the time of such conversion for such owner-occupied units, which requirement must be satisfied prior to the submittal of applications to the City for such conversion to owner-occupied units.

*Parking Space Dimensions.* Parking space size shall have a minimum width of nine (9) feet and a minimum length of eighteen (18) feet. No compact parking is permitted within the Planning Area unless approved by the Director of Community and Economic Development. Parking stalls may be 16 feet deep when adjacent to landscape areas. Parking stalls adjacent to sidewalks shall be required to utilize wheel stops. Motorcycle parking spaces shall have a minimum width of four (4) feet and a minimum length of eight (8) feet.

*Garages.* Garages shall be a minimum width of ten (10) feet and a minimum length of twenty (20) feet. Carports are permitted within the Planning Area.

*Use of Parking Space.* All parking is to be used for the parking of vehicles, not storage. The storage of recreational vehicles, trailers,

boats, or non-operational vehicles is prohibited in the Planning Area.

*Circulation.* The access and parking layout must provide adequate room for independent vehicle maneuvering.

*Signs.* Signage utilized throughout the Planning Area will include but not be limited to speed limit signs, directional signs, entry signs, and various informational signs. Project identification signs shall be reviewed and approved prior to the issuance of the first building permit.

#### Performance Standards

This section indicates performance standards and regulations that are applicable to any residential development within the Planning Area permitted under the *Fairfield Specific Plan*.

*Walls and Fences.* Any proposed wall or fence must be decorative in nature with materials and colors consistent with the residential style. All walls and fences shall be six (6) feet in height measured from the highest adjacent grade. Walls along the western property line may be permitted up to eight (8) feet as approved by the Director of Community and Economic Development. Within the required front setback area, walls and fences shall not be permitted to exceed three (3) feet in height. Exhibit 3-6 details the conceptual fence location within the Planning Area. Conceptual details of the fence types referenced on Exhibit 3-6 are shown on Exhibit 3-7.

*Utilities.* All utilities, including electrical, water, sewer, and telephone shall be placed underground. Transformers, fire hydrants, backflow preventors, and other such facilities may be above ground. Screening of such facilities is required via landscaping, low walls, or other such method as proposed by the utility provider and/or fire department.

*Screening of Mechanical Equipment.* All mechanical equipment shall be screened behind a permanent structure. Roof-top equipment will be permitted so long as they are not visible from the public right of way. Solar panels and ancillary equipment must be installed in a manner so as not to be visible from the public right of way.

### **3.3 Design Guidelines**

The design standards and guidelines contained herein have been established to promote quality and attractive development, to ensure land use compatibility, and to provide guidance with respect to building mass and form, architectural styling, color and materials, and landscape design. New development within the Planning Area will be designed to be compatible with surrounding uses and not detract from the character of surrounding development (both existing and proposed). The criteria discussed in this section focuses on design requirements, standards, and guidelines unique to the development envisioned under the *Fairfield Specific Plan*.

The guidelines contained in this section indicate the minimum design requirements that must be adhered to. Any future development application will undergo review by the Planning Commission to ascertain the development's conformity with the Specific Plan.

#### **Architectural Design**

This section of the *Fairfield Specific Plan* identifies the architectural styles that can be used to ensure high quality and compatibility with the adjacent residential and retail developments. The following styles that may be used in the development include:

*Craftsman.* This style of architecture originated in California during the Arts and Crafts Movement, beginning in the late

1890s and continuing through the 1920s. Typical features include a boxy or square appearance, low-pitched gable roofs with wide, unenclosed eave overhangs and exposed rafters, decorative (false) beams or braces added under the gables, and large front porches supported by tapered, square wood columns adorned with exposed brick or river rock, leading to an exposed foundation made of the same material.

*Mediterranean/Spanish Eclectic.* This category includes a combination of various architectural styles, including Spanish Colonial Revival, Mission, Monterey, and Italian Renaissance to provide for an eclectic harmony of architectural elements that can be defined as Mediterranean/Spanish Eclectic. The elements that typify this style include low pitched, clay tile roofs, one or more prominent arches placed above doors, principal windows, and/or porch openings, and walls with stucco surfaces.

*Traditional.* This category combines representative examples of the traditional eclectic styles of Colonial Revival, California Ranch house, and Monterey. The elements that characterize this style include low or intermediate roof pitches, closed eaves and rake, the use of at least one front-facing gable, and wood shingle/shake or brick siding for front exteriors.

Sample building elevations for the architectural designs described above are shown on Exhibit 3-8.

The proposed Precise Site Plan's architectural style consists of Mediterranean/Spanish Eclectic and is shown on Exhibits 3-9 through 3-13.

*Architectural Compatibility.* Compatible architectural styles should be employed within the Planning Area. All site structures should emulate a consistent style to enhance the architectural character while creating a harmonious community.

*Remodels, Additions, Accessory Structures.* Building additions to existing structures should reflect the architectural style and design of the primary structures. Accessory structures should be compatible in architectural style and design to that of the main structures.

*Building Mass Elements.* Building projections will be incorporated into the structure elevation so as to enhance façade depth and to provide visual interest. Elements such as roof planes, balconies, covered porches, chimneys, and windows will be utilized to reduce the appearance of mass.

*Architectural Details.* Architectural details including balcony columns, decorative door and window designs, roof overhangs with decorative brackets and rafter tails, exterior moldings, porch and balcony railings, exterior siding and lighting fixtures consistent with the project's architectural style provide visual interest and are strongly encouraged.

*Facade Treatment.* Facade treatment should be consistent for all building planes of the structure. Architectural details consistent with the structure's prevalent architectural style should be incorporated on all facades visible from a public right of way. Front and rear facades will be fenestrated with windows and doors to provide visual relief from the appearance of mass and large expanses of blank wall surface. Windows and doors should be consistent in shape, style, and size to each other.

*Facade Articulation.* Facades will be articulated to provide visual relief from the appearance of mass and large expanses of blank wall surface. Permitted projections such as bay windows and cantilevered, open and enclosed balconies provide visual interest and relief to the facade. Varying

materials also provide articulation and interest.

*Accessory Lighting.* Exterior lighting must be positioned so that no direct light extends onto neighboring properties. Illumination must also be screened from adjacent properties. Residences numbers are to be illuminated per the Los Angeles County Fire Department and Title 18-Zoning standards. Lighting may also be used as a design feature, with decorative wall packs, pedestrian light standards, and directional landscape enhancement.

*Landscaping, Street Trees.* One street tree must be planted in the right-of way for every 30 feet of frontage along Beach Blvd.

*Landscaping, Control of Storm Water Runoff and Erosion.* The landscaping must be designed so as to facilitate the absorption of rainfall. Permeable surfaces shall be employed wherever possible to maximize percolation.

*Landscaping, Water Conserving.* Where appropriate, landscaping should incorporate compatible species of drought-tolerant vegetation.

*Landscaping, Screening.* Landscaping should be employed as a means to screen mechanical equipment, above ground utilities, and trash enclosures.

*Landscaping, Walls and Fences.* Blank building surfaces, fences, and walls should incorporate landscaping to screen large masses of blank surface area, particularly where such features are visible from the public right-of-way.

*Meandering Sidewalk.* A meandering sidewalk along the Beach Boulevard frontage shall be incorporated into the project design. The final design shall be approved by the Director of Community and Economic Development. In addition, the property owner shall be responsible for

maintaining the public right of way from the curb to the property line.

Landscaping requirements not discussed in the *Fairfield Specific Plan* shall comply with the City's Landscaping Requirements under Title 18-Zoning standards.

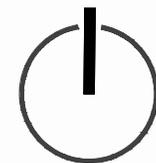




#### LANDSCAPE AMENITIES KEY:

- 1 MAIN PROJECT ENTRY - SEE ENLARGEMENT
  - ENHANCED PAVING at PEDESTRIAN CROSSINGS
  - LOW MONUMENT SIGN WALLS, EACH SIDE with RAISED PLANTERS, DECORATIVE PLANTS and ACCENT TREES
  - MATCHING HEIGHT DATE PALMS
- 2 PUBLIC REALM PLAZA - SEE ENLARGEMENT
  - SHADE PERGOLA with FLOWERING VINES
  - BENCHES
  - ACCENT TREES in TREE CUTOUTS
  - ENHANCED PAVING
- 3 ENTRY DRIVE
  - FLOWERING TREES in SIDEWALK CUTOUTS
  - DECORATIVE PAVING at PEDESTRIAN WALKWAY
  - POTTERY and PLANTS
  - SEATING FURNITURE
  - RAISED PLANTERS with ACCENT PLANTS
- 4 MOTORCOURT
  - ENHANCED PAVING
  - DECORATIVE METAL SECURITY GATES and PILASTERS
  - VISITOR CALL BOX ISLAND
  - SPECIMEN TREES
- 5 POOL RECREATION AREA - SEE ENLARGEMENT
  - CLUB ROOM
  - FITNESS ROOM
  - 1,220 SQUARE FOOT LAP POOL
  - SPA
  - SHADE CABANAS
  - LOUNGE FURNITURE
  - DOUBLE SIDED FIREPLACE
- 6 CENTRAL GATHERING AREA (OUTSIDE OF POOL ENCLOSURE FENCE)
  - MULTI-PURPOSE LAWN AREA with BENCHES
  - BOCCIE COURT
  - BARBEQUE COUNTER at ENTERTAINMENT TERRACE
- 7 FAMILY COURTYARD - SEE ENLARGEMENT
  - TOT LOT with PLAY EQUIPMENT
  - TURF PLAY AREA
  - DINING TERRACE with BBQ COUNTER
- 8 ACTIVITY COURTYARD - SEE ENLARGEMENT
  - TURF PLAY AREA (20X40)
  - LOUNGE TERRACE W/BARBEQUE COUNTER
- 9 SECONDARY EMERGENCY VEHICLE ACCESS and EXIT POINTS
  - DECORATIVE VEHICULAR GATES

NOTE:  
LOCATION OF FUTURE GAS METERS, TRANSFORMERS, AND OTHER UTILITY SERVICES MAY AFFECT LANDSCAPING. THOSE LOCATIONS WILL BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.

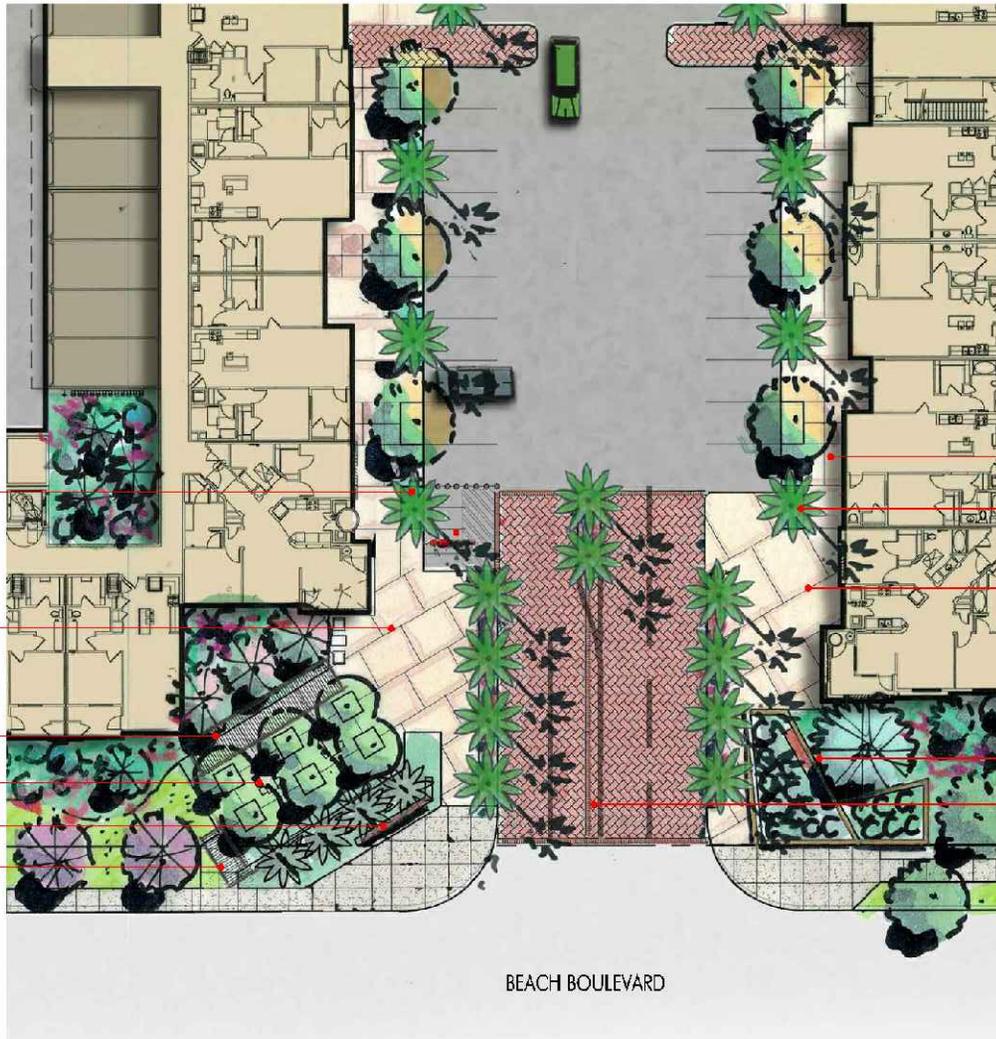


NORTH

## CONCEPTUAL LANDSCAPE PLAN

EXHIBIT 3-1



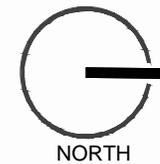


**LANDSCAPE AMENITIES KEY:**

- 1 LOW MONUMENT SIGN WALLS EACH SIDE with RAISED PLANTERS, SPECIMEN TREES and MATCHING HEIGHT DATE PALMS
- 2 OUTDOOR SEATING TERRACE with TREE BOSQUE TRELLIS
- 3 ENTRY PERGOLA with FLOWERING VINES
- 4 WOODEN SHADE TRELLIS
- 5 TREE CUTOUTS ALONG PEDESTRIAN WALKWAY
- 6 BANQUET with ENHANCED CONCRETE SCORING
- 7 CONCRETE PAVING with ENHANCED DECORATIVE SCORELINE PATTERN
- 8 ENHANCED PAVING
- 9 MOTORCYCLE PARKING

NOTE:  
 LOCATION OF FUTURE GAS METERS, TRANSFORMERS, AND OTHER UTILITY SERVICES MAY AFFECT LANDSCAPING. THOSE LOCATIONS WILL BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.

BEACH BOULEVARD

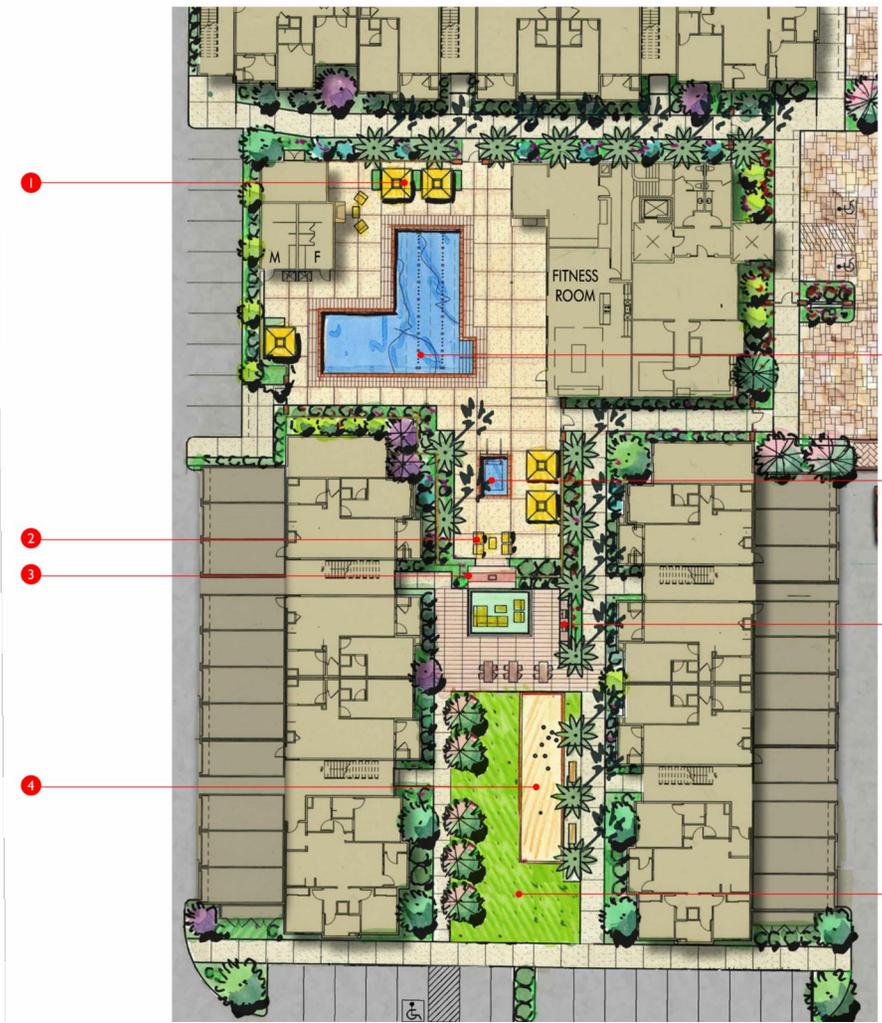


NORTH

**MAIN ENTRY AND PUBLIC REALM**

EXHIBIT 3-2

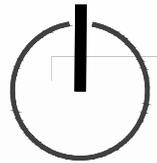




**LANDSCAPE AMENITIES KEY:**

- 1 SHADE CABANAS
- 2 LOUNGE FURNITURE
- 3 DOUBLE-SIDED FIREPLACE
- 4 BOCCE COURT
- 5 1,220 SQUARE FOOT LAP POOL
- 6 SPA
- 7 BARBEQUE COUNTER with 2 BBQ'S at ENTERTAINMENT TERRACE
- 8 MULTI-PURPOSE LAWN AREA with BENCHES

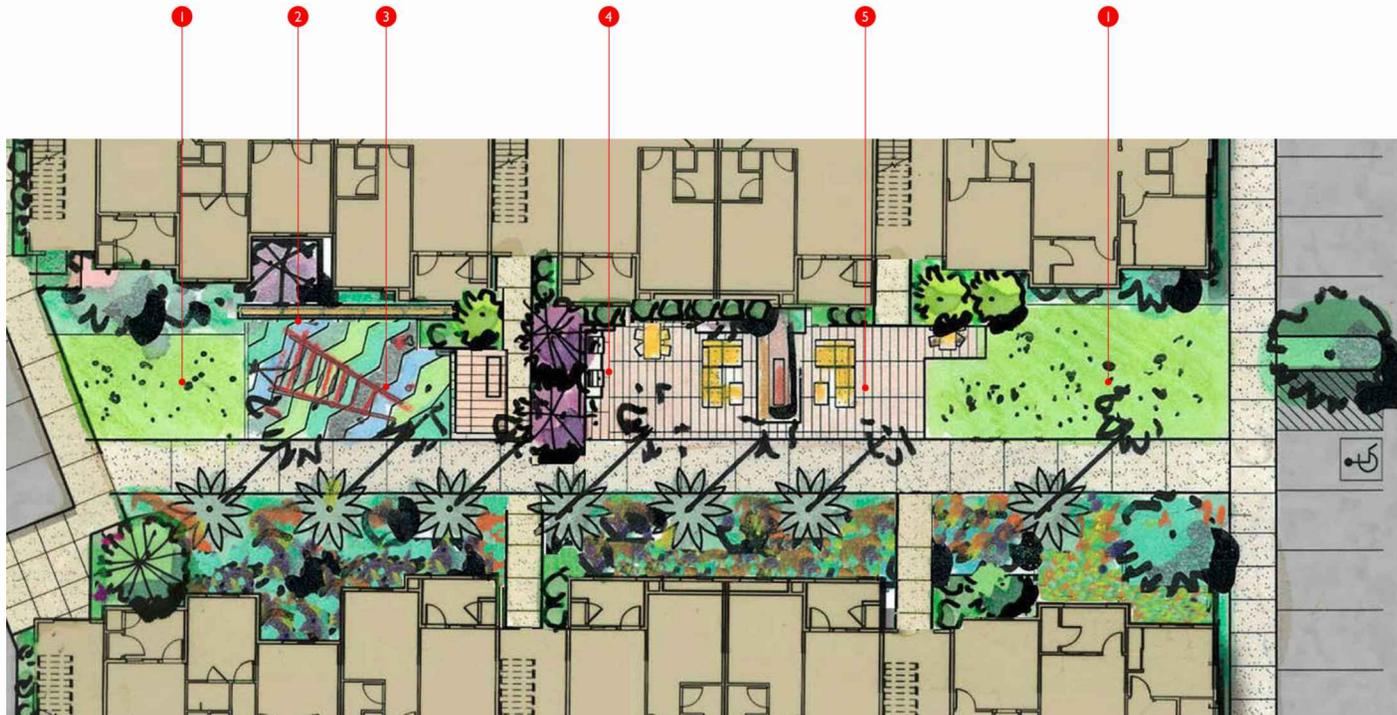
NOTE:  
 LOCATION OF FUTURE GAS METERS, TRANSFORMERS, AND  
 OTHER UTILITY SERVICES MAY AFFECT LANDSCAPING. THOSE  
 LOCATIONS WILL BE DETERMINED AT TIME OF CONSTRUCTION  
 DOCUMENT PREPARATION.



NORTH

**POOL RECREATION AREA**

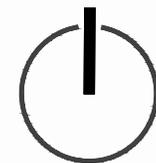
EXHIBIT 3-3



LANDSCAPE AMENITIES KEY:

- 1 TURF AREA
- 2 DECORATIVE SCREEN WALL for PRIVACY of PATIOS
- 3 18' x 28' TOT LOT with PLAY EQUIPMENT, AGE 2-12 YRS. OLD
- 4 DINING TERRACE with BARBEQUES and FARM TABLES
- 5 ENHANCED PAVING

NOTE:  
 LOCATION OF FUTURE GAS METERS, TRANSFORMERS, AND  
 OTHER UTILITY SERVICES MAY AFFECT LANDSCAPING. THOSE  
 LOCATIONS WILL BE DETERMINED AT TIME OF CONSTRUCTION  
 DOCUMENT PREPARATION.

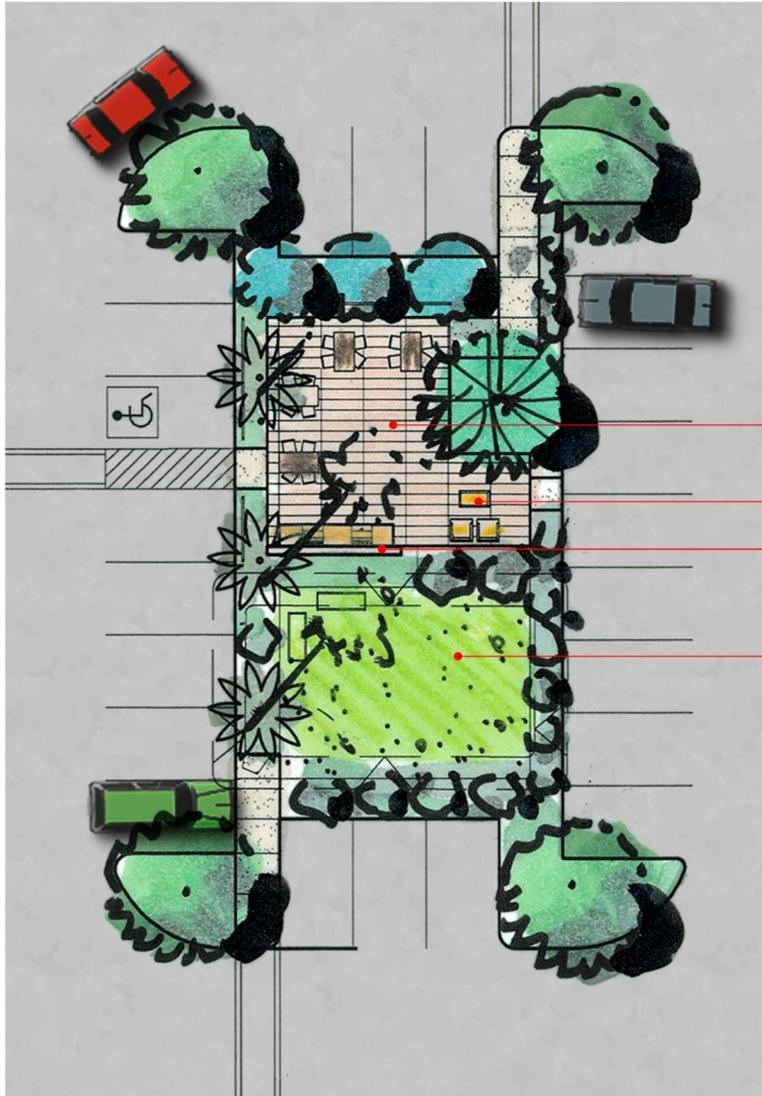


NORTH

FAMILY COURTYARD

EXHIBIT 3-4

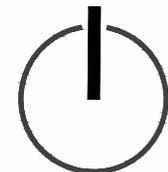




LANDSCAPE AMENITIES KEY:

- 1 OUTDOOR KITCHEN with 2 BARBEQUES
- 2 ENTERTAINMENT and DINING FURNITURE
- 3 ENHANCED PAVING
- 4 20' x 40' GRASS PLAY AREA

NOTE:  
 LOCATION OF FUTURE GAS METERS, TRANSFORMERS, AND  
 OTHER UTILITY SERVICES MAY AFFECT LANDSCAPING. THOSE  
 LOCATIONS WILL BE DETERMINED AT TIME OF CONSTRUCTION  
 DOCUMENT PREPARATION.

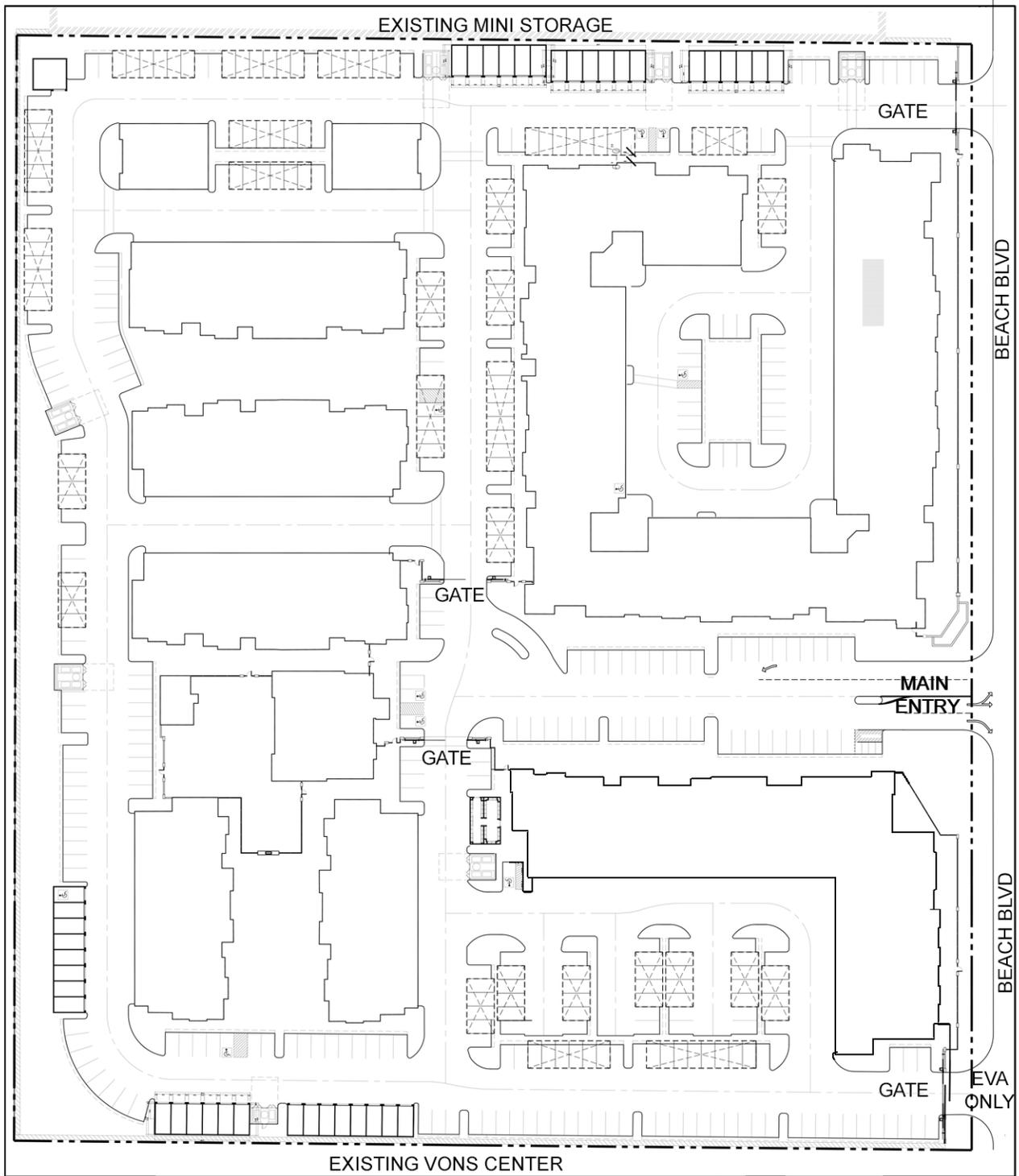


NORTH

ACTIVITY COURTYARD

EXHIBIT 3-5





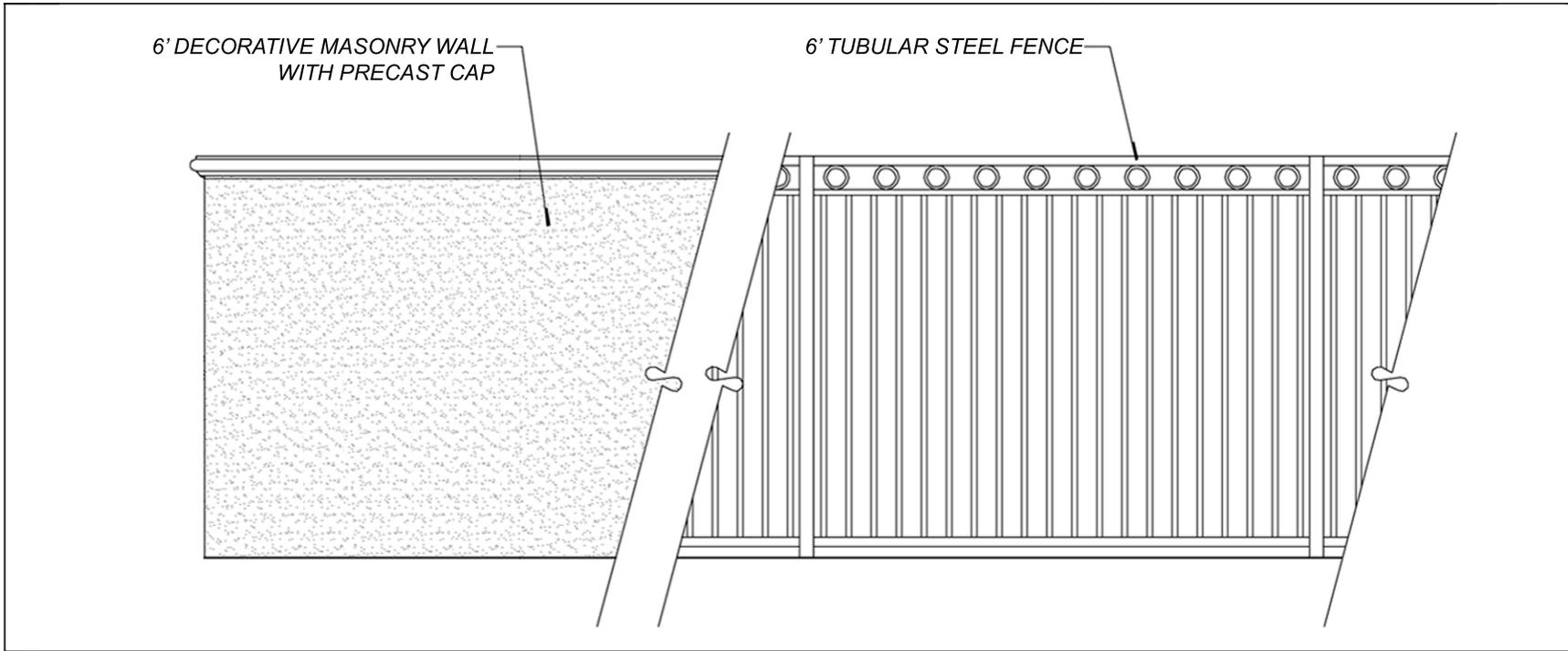
\*Note, the actual fencing layout will be determined through the City's Design Review process

-  BLOCK WALL
-  TUBULAR STEEL FENCE



**CONCEPTUAL FENCE DIAGRAM**





*\*Note, the actual fencing design will be determined through the City's Design Review process\**

### CONCEPTUAL FENCE / WALL DETAILS

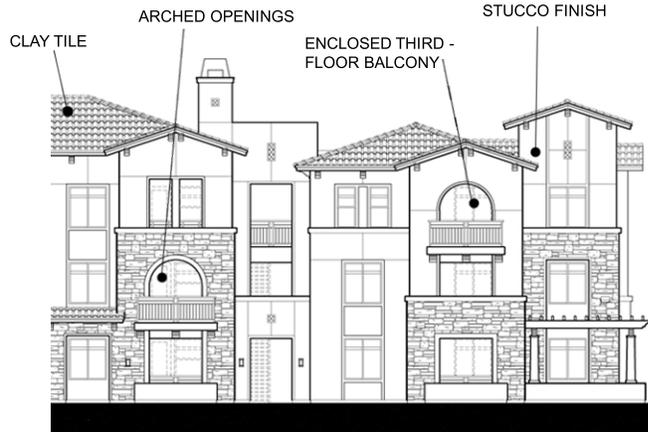
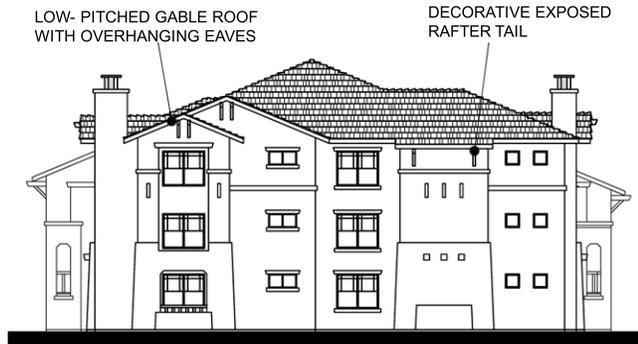


# DEVELOPMENT STANDARDS AND DESIGN GUIDELINES

## Craftsman



\*ELEVATION AND VIEW OF A BUILDING WITH CRAFTSMAN ARCHITECTURAL ELEMENTS



## Mediterranean/ Spanish Eclectic



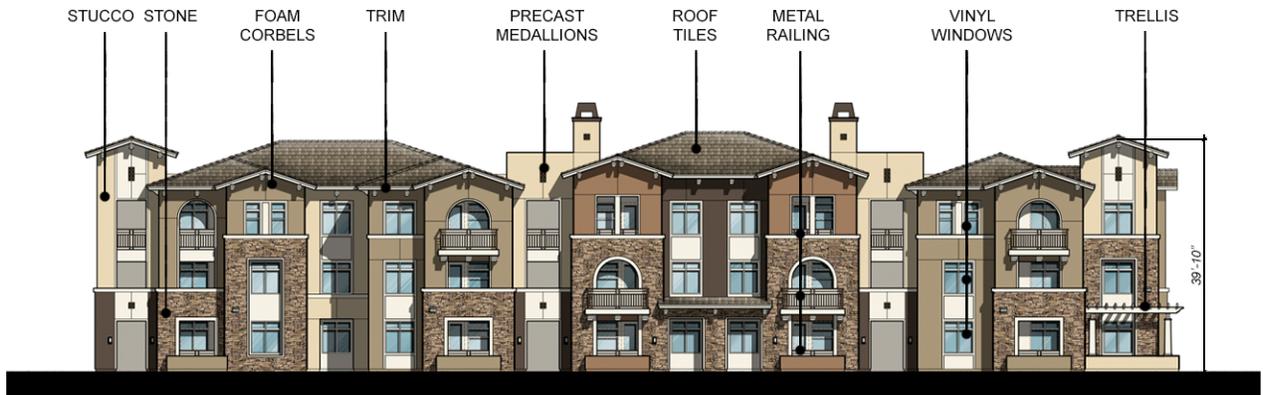
\*ELEVATION AND VIEW OF A BUILDING WITH SPANISH ECLECTIC ARCHITECTURAL ELEMENTS

## Traditional



\*ELEVATION AND VIEW OF A BUILDING WITH TRADITIONAL ARCHITECTURAL ELEMENTS





*Building Type II - Front Elevation*



*Building Type II - Rear Elevation*

**ARCHITECTURAL ELEVATION  
BUILDING TYPE II**





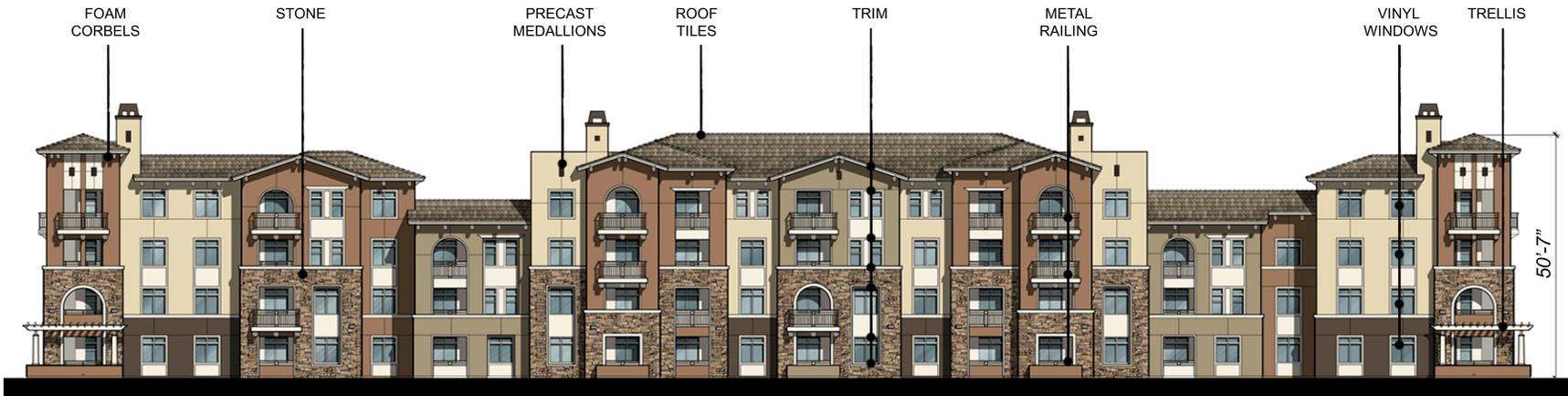
*Building Type III - Front Elevation*



*Building Type III - Rear Elevation*

**ARCHITECTURAL ELEVATION  
BUILDING TYPE III**





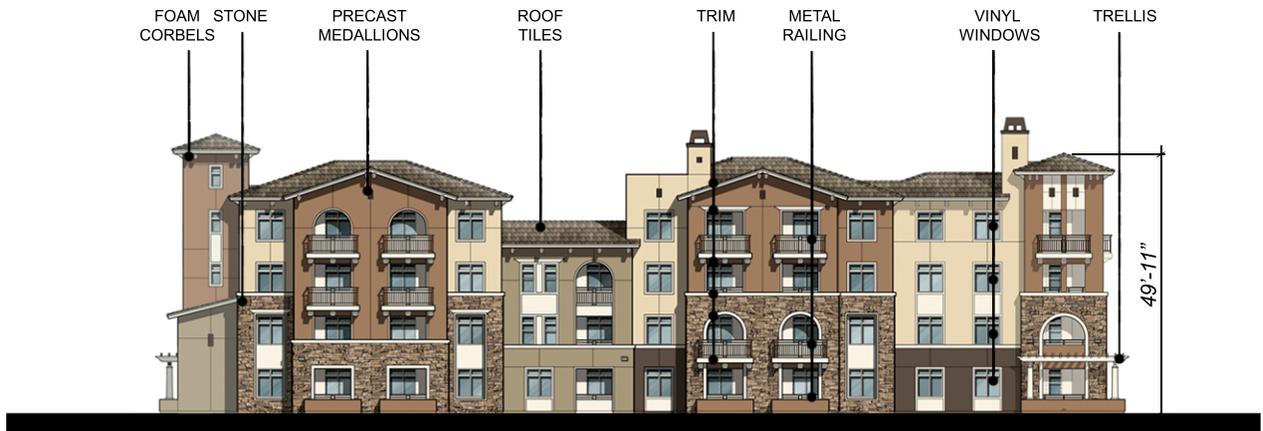
*Building Type IV - Front Elevation*  
*Beach Boulevard*



*Building Type IV - Rear Elevation*

**ARCHITECTURAL ELEVATION - BUILDING TYPE IV**





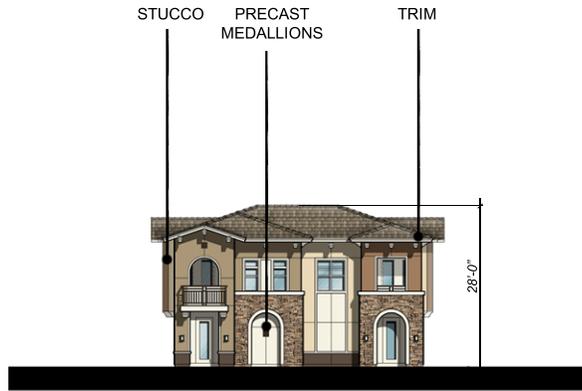
*Building Type V - Front Elevation*  
*Beach Boulevard Elevation*



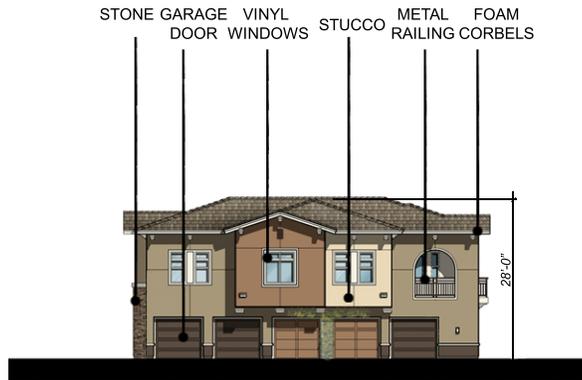
*Building Type V - Rear Elevation*

**ARCHITECTURAL ELEVATION  
 BUILDING TYPE V**





*Building Type VI - Front Elevation*



*Building Type VI - Side Elevation*

**ARCHITECTURAL ELEVATION  
BUILDING TYPE VI**



## 4.0 INFRASTRUCTURE

This section of the *Fairfield Specific Plan* provides an overview and framework for the future infrastructure and improvements required to serve the development permitted herein. The following development concepts were considered in the formulation of the Infrastructure Plan:

- The circulation system and infrastructure required to serve potential future infill development must be designed so as to minimize the traffic impacts to the surrounding streets.
- The infrastructure required to serve any future development must be designed and programmed in a manner to accommodate the infill development.

This section of the *Fairfield Specific Plan* includes the following sections:

- *Circulation Plan* indicates the location and extent of roadways contemplated as part of the Plan's implementation. This section also contains those guidelines and standards related to internal circulation and roadway improvements.
- *Utilities Plan* indicates development standards related to utilities and infrastructure that will be required to serve development within the Planning Area.

### 4.1 Circulation Improvements

At a minimum, the proposed Circulation Plan shall provide adequate access/driveway design, and assurances that the public right-of-way will not be significantly impacted. Exhibit 4-1 outlines the conceptual circulation plan for the Precise Site Plan. Actual circulation routes may change upon further refinement of the Precise Site Plan.

The ultimate circulation plan shall comply with the specific plan requirements.

*Residential Circulation & Access.* Within the *Fairfield Specific Plan* project site, circulation improvements for the residential development will include connection from Beach Boulevard to the internal streets at Fashion Square Lane. Additional secondary egress is shown on the Precise Site Plan.

*Off-site Traffic Improvements.* The developer will pay the City of La Habra's various applicable traffic (improvement and fair-share) impact and administrative fees as set forth in the City's fee schedule. In addition, all necessary traffic improvements within Beach Boulevard shall be subject to CalTrans review and approval. All internal private streets utilized as fire lanes shall be a minimum of twenty-eight (28) feet wide. Non-fire lane internal private streets shall be a minimum of twenty-five (25) feet wide. (see Exhibit 4-1).

### 4.2 Utilities

The area is currently served by electrical, communications, cable television, water, sewer, gas, and other utilities. Development in the Planning Area will be connected to these services at the developer's expense. Utility improvement standards not addressed in the *Fairfield Specific Plan* shall comply with City of La Habra standards.

### 4.3 Storm Drain Improvements

*Storm Drainage.* Adequate on-site storm drain facilities shall be constructed prior to the occupancy of the proposed project. On-site activities shall comply with storm water quality management requirements of the City and County, with appropriate permits obtained prior to connection into the public storm drainage system.

Implementation measures designed to reduce the quantity of street pollutants that enter the local storm drainage system both

during construction and after construction of permanent facilities will be required. The developer will be responsible for the initial development of all street improvements within the Planning Area. This includes roadways, landscaped parkways, and sidewalks. The property owner shall be responsible for continued maintenance of these improvements after construction of the project.

*Storm Drain Improvements.* At present, all surface water flows into underground pipes through the site towards the project frontage in Beach Boulevard. The site drainage outlets to an existing 54" storm drain located in Beach Boulevard via two existing 18" storm drain stubs from the site. The proposed on-site drainage will be designed to utilize the same existing 18" storm drain stubs for outlet to the Existing 54" main. The storm drain improvements related to development of the Precise Site Plan are shown on Exhibit 4-2.

*Storm Water Management.* Development permitted under the *Fairfield Specific Plan* shall comply with the approved Water Quality Management Plan (WQMP). Future development will be required to connect into the existing offsite storm drain system. While the site is relatively flat, portions of the site near the single family development bordering the western portion of the Planning Area will need to be graded to account for proper storm water management and drainage. The conceptual grading and drainage for the Precise Site Plan is shown on Exhibit 4-3. A conceptual cross section of the grading for this area is shown on Exhibit 4-5.

*Water Quality.* Future development permitted under the *Fairfield Specific Plan* shall comply with City and State water quality management regulations. A Water Quality Management Plan (WQMP) was

prepared as part of this specific plan submittal.

#### **4.4 Water System Improvements**

*Water System Improvements.* The development will tie a new 8" lateral water line into either/both the existing 12" main line or the existing 6" main line in Beach Boulevard based on an analysis of the system and as determined by the Director of Public Works.

*Fire Flow.* Fire flow requirements for public and private hydrants shall be provided in accordance with County of Los Angeles Fire Department standards.

*Water Conservation in Landscaping.* The City shall only approve a landscaping plan that provides water-efficient irrigation systems (i.e., drip irrigation, automatic shut-offs, soil moisture sensors, automatic controllers and valves, etc.).

*Water Conservation in Plumbing.* Water conserving plumbing fixtures and appliances shall be used in all new construction. These shall include ultra-low flush toilets, low-flow showerheads, low-flow faucets, water-efficient appliances and equipment, and an on-site leak detection program. All applicable sections of Titles 20 and 24 of the California Code of Regulations regarding water consumption and conservation shall be enforced.

#### **4.5 Sewer System Improvements**

*Sewer System Improvements.* In compliance with the Orange County Sanitation District's regulations, the developer will provide all required on-site sewer infrastructure and pay a sewer system connection fee that will be used for the operation of wastewater collection, treatment, and facilities maintenance and construction. Development plans shall be submitted to the Sanitation District to determine the required water system improvements. On-site sewer lines

and connections shall be provided in accordance to City requirements and accepted engineering standards. Based on preliminary analysis, one off-site man-hole will likely require an upgrade to alleviate existing and future capacity issues near the Imperial Highway/Beach Blvd intersection. Conceptual sewer system improvements for the Planning Area are shown on Exhibit 2-5.

#### **4.6 Beach Boulevard Frontage**

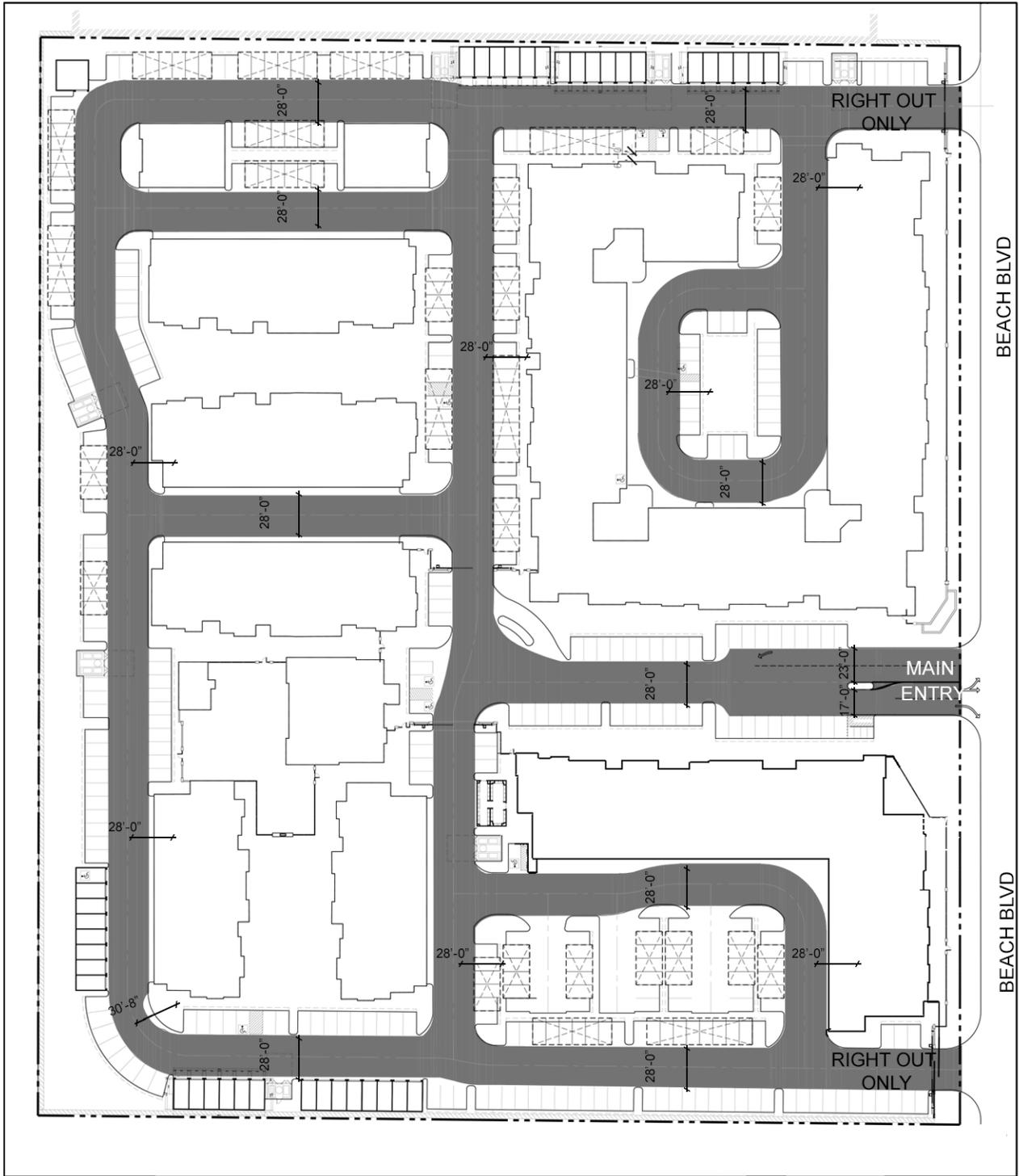
Along the Planning Area's boundary with S. Beach Boulevard, the developer shall be responsible for the development of the landscaped setback areas and reconstruction of the sidewalk. In addition, the property owner shall be responsible for maintaining the public right of way from the curb to the property line along the Beach Boulevard frontage.

#### **4.7 Maintenance of Sidewalks for Residential Development**

The maintenance of the sidewalks interior to the project shall be the responsibility of property management.

#### **4.8 Responsibility for Provision of Infrastructure**

The project developer will be responsible for replacing/installing lateral service lines, as required by the City, in conjunction with new development. Following the construction period, responsibility for lateral connections shall fall to the property owner.

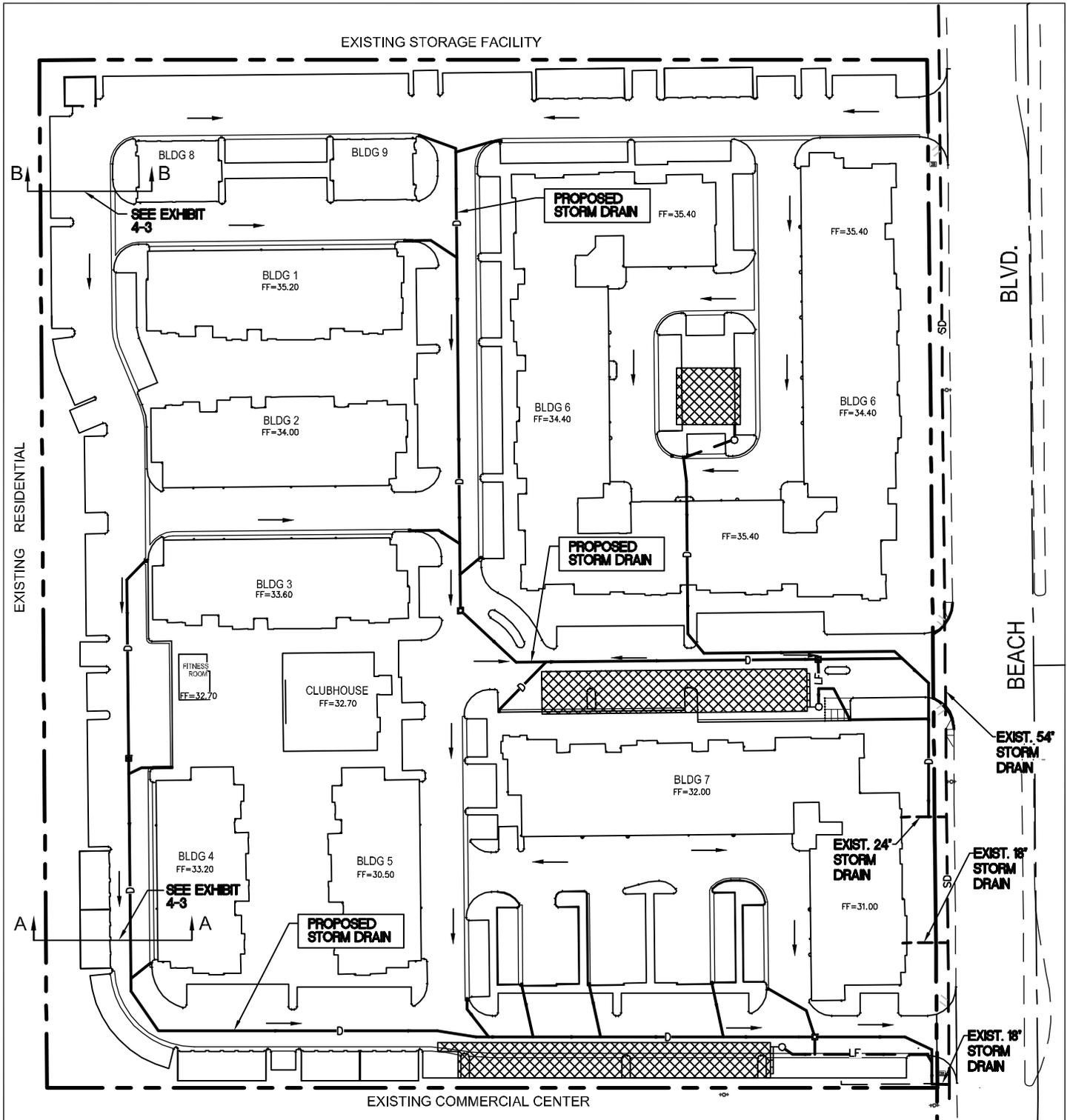


\*Note, actual circulation plan design will be determined through the City's Design Review process\*



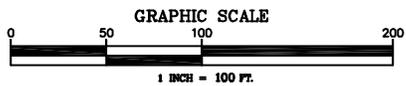
CONCEPTUAL CIRCULATION PLAN





**LEGEND**

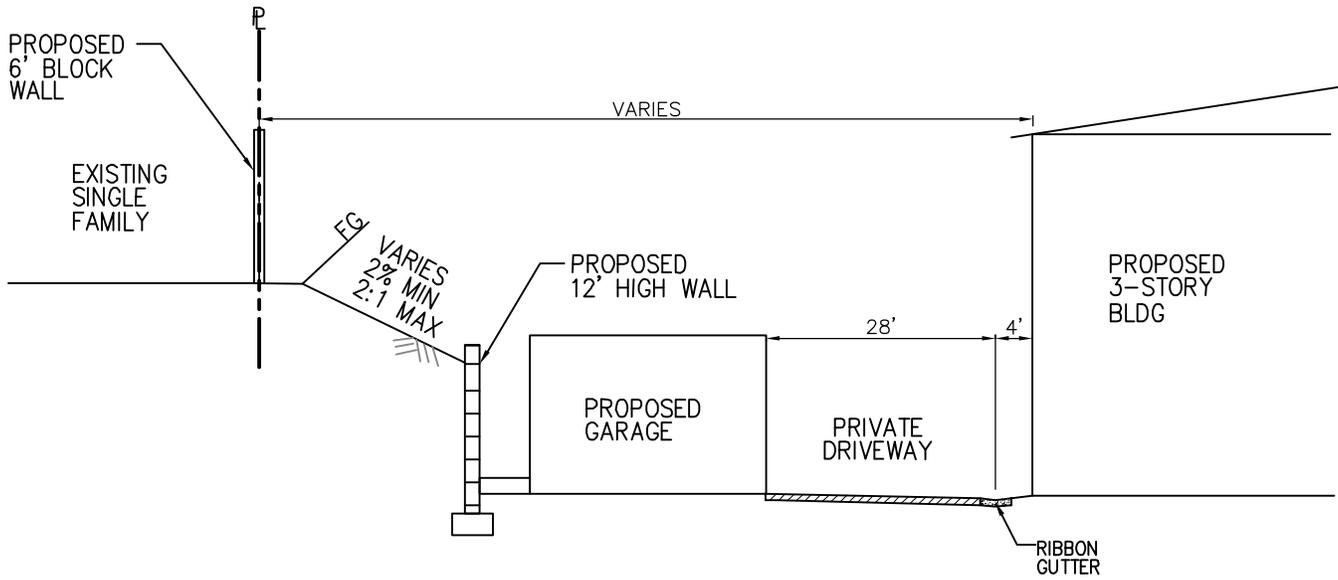
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
	WQ UNIT



"NOTE: SUBJECT TO APPROVAL OF FINAL WATER QUALITY MANAGEMENT PLAN"

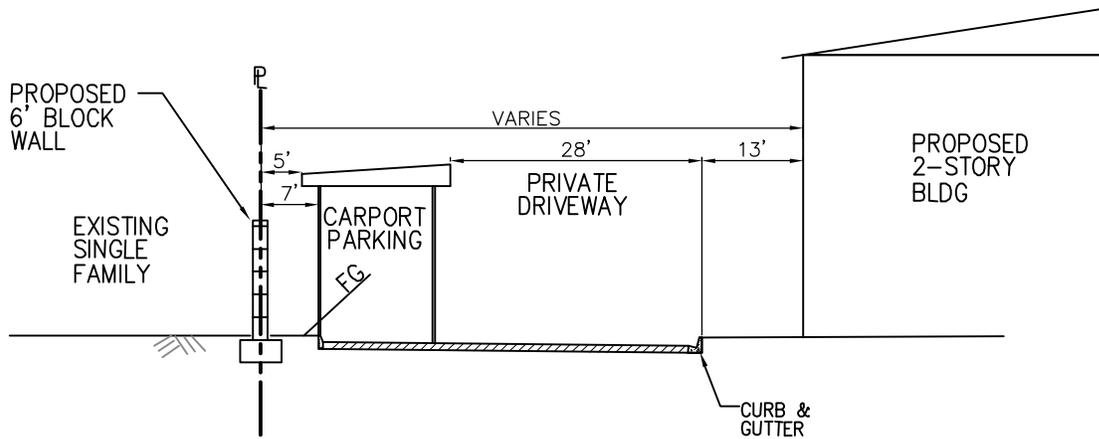
**CONCEPTUAL GRADING AND DRAINAGE PLAN**





**SECTION "A-A"**  
PER EXHIBIT 4-2

NTS



**SECTION "B-B"**  
PER EXHIBIT 4-2

NTS

NOTE: ACTUAL GRADING AND FENCE TYPE  
WILL BE DETERMINED THROUGH THE  
CITY'S DESIGN REVIEW PROCESS.

**CONCEPTUAL GRADING  
CROSS-SECTIONS NEAR SINGLE FAMILY**



Fairfield Specific Plan  
March 2015

EXHIBIT 4-3

## 5.0 COMMUNITY SERVICES

This section identifies the community services needed to support the *951 S. Beach Specific Plan* land use plan.

### 5.1 Police

Police protection services in the City of La Habra are provided by the La Habra Police Department (LHPD) headquartered at 150 North Euclid Street. The LHPD is divided into two Divisions - Operations and Support Services.

The Operations Division consists of the Traffic Bureau, Patrol Unit, Ambulance Control, and Emergency Services. The Support Services Division consists of the Investigations Bureau, Records Bureau, and Communications.

The department's equipment includes patrol cars with back-up equipment such as helicopter service available from Orange County. The Department participates in a multiagency Mutual Aid Agreement with the Orange County Sheriff's Department and neighboring cities.

As identified in the IS/MND, the minimal increase in the demand for police services associated with the Specific Plan will not burden the City's existing police protection services. Implementation of the Specific Plan will not require the provision of new or expansion of existing police protection facilities. In the event that emergency back-up support is needed for any reason, the La Habra Police Department can rely on the County and neighboring cities via a mutual aid agreement.

### 5.2 Fire

The City of La Habra contracts with the Los Angeles County Fire Department (LACoFD) for fire suppression and emergency medical services. The LACoFD is a full service fire department that provides fire protection,

emergency medical services, hazardous materials response, and other life safety services. The LACoFD service area encompasses 58 District cities and all unincorporated Los Angeles County areas, excluding the City of Los Angeles.

The City of La Habra is located in Division IV, Battalion 21 of the LACoFD, which covers the cities of La Habra, La Mirada, Whittier, Cerritos, and Norwalk. There are four stations that provide first-in jurisdictional coverage to the City of La Habra. Three of these stations (Stations 191, 192, and 193) are located within the City limits, while Station 194 is located in the City of La Mirada, immediately southwest of La Habra along Beach Boulevard on property owned by the City of La Habra.

Although the first in jurisdictional coverage is provided by these four stations, the LACoFD operates under a regional concept in its approach to providing fire protection and emergency medical services. Emergency response units are dispatched as needed to an incident anywhere in the District's service territory based on distance and availability without regard to jurisdictional or municipal boundaries.

As identified in the IS/MND, the increase in the demand for fire services associated with the Specific Plan will not burden LACoFD's existing protection services.

### 5.3 Schools

Three different school districts (La Habra City, Lowell Joint, and Fullerton Joint Union High School District) operate schools within the City of La Habra. Student residents of the Planning Area will attend elementary at the Olita Elementary School (administered by the Lowell Joint School District). Middle school students will attend the Rancho-Starbuck Intermediate School

within the Lowell Joint School District. High school students will attend La Habra High School, administered by the Fullerton Joint Union High School District. In addition to these public facilities, several private schools are in La Habra and adjacent communities.

California law requires the payment of fees at time of building permit issuance. The payment of such fees ensures project compliance with school district requirements and mitigates any project impact.

#### **5.4 Solid Waste**

The City of La Habra contracts waste removal and hauling with Waste Management of Orange County (WMOC). In addition to waste hauling, WMOC operates two transfer stations, one in the City of Irvine and the other in the City of Orange. Sorted solid waste is disposed of either at the Frank R. Bowerman Landfill near Irvine, the Olinda Alpha Landfill near Brea, or the Prima Deshecha Landfill in San Juan Capistrano.

The City has incorporated the California Integrated Waste Management Act of 1989 into plans regarding solid waste generation and recycling programs. All new development pursuant to the Specific Plan will comply with existing federal, state, and local solid waste regulations and recycling programs.

## 6.0 IMPLEMENTATION PLAN

The *Fairfield Specific Plan* will serve as the primary public policy regulatory document for multi family residential development in the Planning Area. The consistent application of the standards contained in this Specific Plan will ensure the Planning Area's residential development reflects the city's overall vision for the larger community.

The La Habra Zoning Ordinance will be amended to reflect the *Fairfield Specific Plan* as it applies to the Planning Area. An ordinance will be adopted to establish the Specific Plan Area.

Future multi family residential development within the Planning Area shall be required to conform to standards, guidelines, and the Precise Site Plan contained herein. The primary objective of this Specific Plan is to incorporate and integrate a high quality residential project into La Habra.

### **6.1 Enforcement**

The Director of Community and Economic Development shall have the duty of enforcement of this Specific Plan. Any person violating use of a building or structure hereafter erected, built, maintained or used contrary to provisions of the *Fairfield Specific Plan* shall be guilty of a misdemeanor. Any person aggrieved by such an interpretation may request that such interpretation be reviewed by the Planning Commission and, if needed, appealed to the City Council.

Unless otherwise specified, all multi family residential development within the Planning Area governed by the *Fairfield Specific Plan* shall comply with the terms of this Specific Plan. Maintenance of landscaping, signage, parking areas, streets, structures, fences, and other amenities described herein are required and will be the responsibility of the

overall property owner. Failure to maintain those improvements described herein will constitute a failure to comply with the provisions of this Specific Plan.

The Director of Community and Economic Development shall have the responsibility of interpreting, implementing, and enforcing compliance with the provisions of this Specific Plan.

The provisions of the *Fairfield Specific Plan* shall take precedence over the City of La Habra Municipal Code, Title 18 - Zoning, and carry the same force of law. Where a particular regulation or standard is not specifically addressed in this Specific Plan, the relevant provision of the City of La Habra Municipal Code, Title 18- Zoning, shall govern.

If any regulation, standard, or other provision of the *Fairfield Specific Plan*, or any portion thereof, is found by a court of competent jurisdiction to be invalid, the remaining portions of this Specific Plan shall remain valid.

### **6.2 Permits and Discretionary Development Applications**

For the purposes of this section, the term "development project" shall mean all new construction of any building or buildings, and additions of two-hundred and fifty (250) square feet or greater to any existing building or buildings. The development of the project shall be in conformance with the Precise Site Plan incorporated herein. Significant revisions to the Precise Site Plan, as determined by the Director of Community and Economic Development, shall be processed under Chapter 18.68 of the City of La Habra Municipal Code regarding Design Review procedures, as amended from time to time. Once the initial development has been constructed, additions or new



structures greater than two-hundred and fifty (250) square feet in area shall be processed through the City of La Habra's design review process. Consistency with the standards of this Specific Plan will be a key element of plan approval review.

Additions or new accessory structures that are less than two-hundred and fifty (250) square feet in area, are deemed to be architecturally compatible, and comply with the development standards set forth in Sections 2.0, 3.0, and 4.0 of this Specific Plan, shall be subject to regular administrative procedures utilized by the City of La Habra for the development and modification to the permitted residences.

For any development project that requires other discretionary approvals, such as approval of a variance, the standard City application and hearing process shall be adhered to.

After the Planning Area is developed pursuant to the Specific Plan's requirements, the property owner may file applications for minor exceptions to the development standards set forth in this Specific Plan. Such applications for exceptions may be made in accordance with the provisions of this section. For the purposes of this section, the term "minor exception" shall mean only the following:

- *Setback Requirements.* A reduction in a building setback not exceeding five (5) percent of the minimum requirement
- *Building Coverage.* An increase in lot coverage not exceeding five (5) percent of the maximum permitted coverage (Note: no exceptions are available to the minimum rear yard landscaping requirement for residential use).
- *Building Height.* An increase in building height not exceeding ten

(10) percent of the maximum permitted height.

- *Variances.* For the purposes of implementation of any application for an exception to the development standards set forth in this Specific Plan (other than any exception defined as a minor exception) a variance shall be required and is subject to the provisions for Variances set forth in the La Habra Municipal Code.

### **6.3 Amendments to the Specific Plan**

Modifications to the *Fairfield Specific Plan* may be appropriate and necessary over time in response to changing conditions. Any proposed changes must first be submitted to the City for review and approval by the Director of Community and Economic Development. Two types of modifications are permitted in accordance with the provisions outlined in this section: a *minor change* and an *amendment*.

A *minor change* to the Specific Plan is defined as any change involving new information to any map or graphic (including modifications to the Precise Site Plan) that does not change the effect of any regulation, standard, or guideline. A *minor change* also includes modifications to the infrastructure plan or other City requirements to ensure compliance with City's Capital Improvement Program.

More significant changes will require an *amendment* to the Specific Plan. All *Amendments* shall be processed and acted upon by the City of La Habra City Council pursuant to the provisions set forth in California Government Code Section 65453. In acting to approve an *Amendment* to the Specific Plan, The City Council of the City of La Habra shall be required to make the following findings:



- That the *amendment* meets the goals and objectives of the *Fairfield Specific Plan*;
- Is consistent with the General Plan 2035; and,
- That any environmental impact associated with the *amendment* has been adequately addressed.

This Specific Plan may be amended either by resolution or ordinance of the City Council.